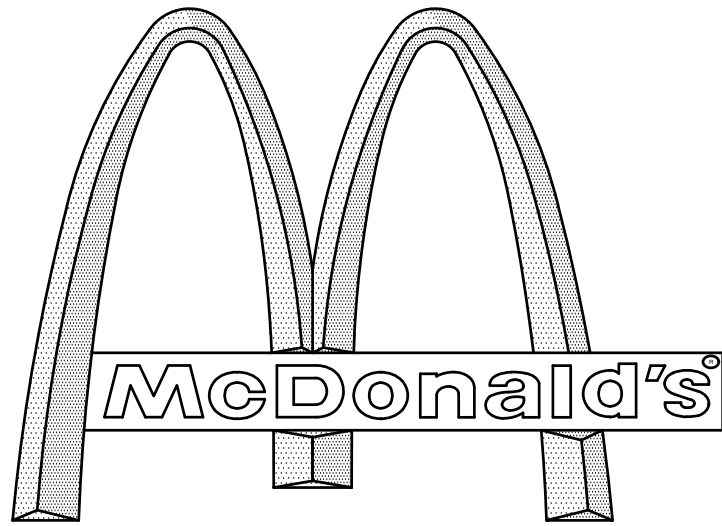


PROPOSED SITE PLAN DOCUMENTS

FOR
EXISTING



WITH DRIVE-THRU

LOCATION OF SITE

170 HAVERHILL STREET, CITY OF METHUEN
ESSEX COUNTY, MASSACHUSETTS
MAP #516, BLOCK #153A, LOT #36DD

REFERENCES

BOUNDARY & TOPOGRAPHIC SURVEY:
CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
DATE: 03/20/2017

ARCHITECTURAL PLAN:
SKYBORNE TECHNOLOGIES
P.O. BOX 875, WESTFORD, MA 01886
DATE: 03/01/2022
REVISED: 03/08/2022

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

GENERAL NOTES:

1. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
2. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
3. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
4. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
6. ALL ELEVATIONS SHOWN ARE BASED UPON, NAVD 88 PER SURVEY NOTE #7.
7. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
8. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION

(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION:

- 1.5" M.04.02- CLASS 2 TOP COURSE
- 1.5" M.04.02- CLASS 1 BASE COURSE
- 12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

RIGID PAVEMENT SECTION:

- 6.0" 4500 PSI AIR-ENTRAINED CONCRETE
- 8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
- 12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

PARKING INFORMATION

TOTAL SPACES 30	1	PROPOSED SPACE	9.0' x 20.0' @ 75°
	2	PROPOSED SPACES	9.2' x 17.2' @ 89°
	5	PROPOSED SPACES	9.0' x 17.5' @ 77°
	20	EXISTING SPACES	
	2	PROPOSED HANDICAPPED SPACES	8.0'x 20.0' @ 75°

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	VARIABLE	PVC	ON-SITE / HAVERHILL ST
WATER	TBD	UG	HAVERHILL ST
STORM SEWER	VARIABLE	PVC	HAVERHILL ST
ELECTRIC	OH / UG	OH / UG	ON-SITE UP / HAVERHILL ST
GAS	UG	UG	ON-SITE / HAVERHILL ST

SURVEY INFORMATION

PREPARED BY: CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
JOB #: 03-170057
DATE: MARCH 20, 2017

TYPICAL LEGEND

EXISTING		PROPOSED
---	PROPERTY LINE	
---	SETBACK	
---	EASEMENT	
---	CURB	
⊙	STORM MANHOLE	⊙
⊙	SEWER MANHOLE	⊙
⊙	CATCH BASIN	⊙
△	WETLAND FLAG	
---	WETLAND LINE	
× 54.83	SPOT ELEVATION	
× 70 54.58	TOP & BOTTOM OF CURB	
---	CONTOUR	---
→	FLOW ARROW	→
→	PAINTED ARROW	→
---	OVERHEAD WIRE	---
---	GAS LINE	---
---	TELEPHONE LINE	---
---	ELECTRIC LINE	---
---	WATER LINE	---

ISSUED FOR PERMIT

STREET ADDRESS
170 HAVERHILL STREET

CITY
METHUEN

STATE
MA

COUNTY
ESSEX

SITE I.D.

020-0292

PLAN DESCRIPTION
COVER SHEET

STATUS

DATE

BY

DRAWN BY:

04/28/22

CSE

PLAN CHECKED

04/28/22

JAK

AS-BUILT

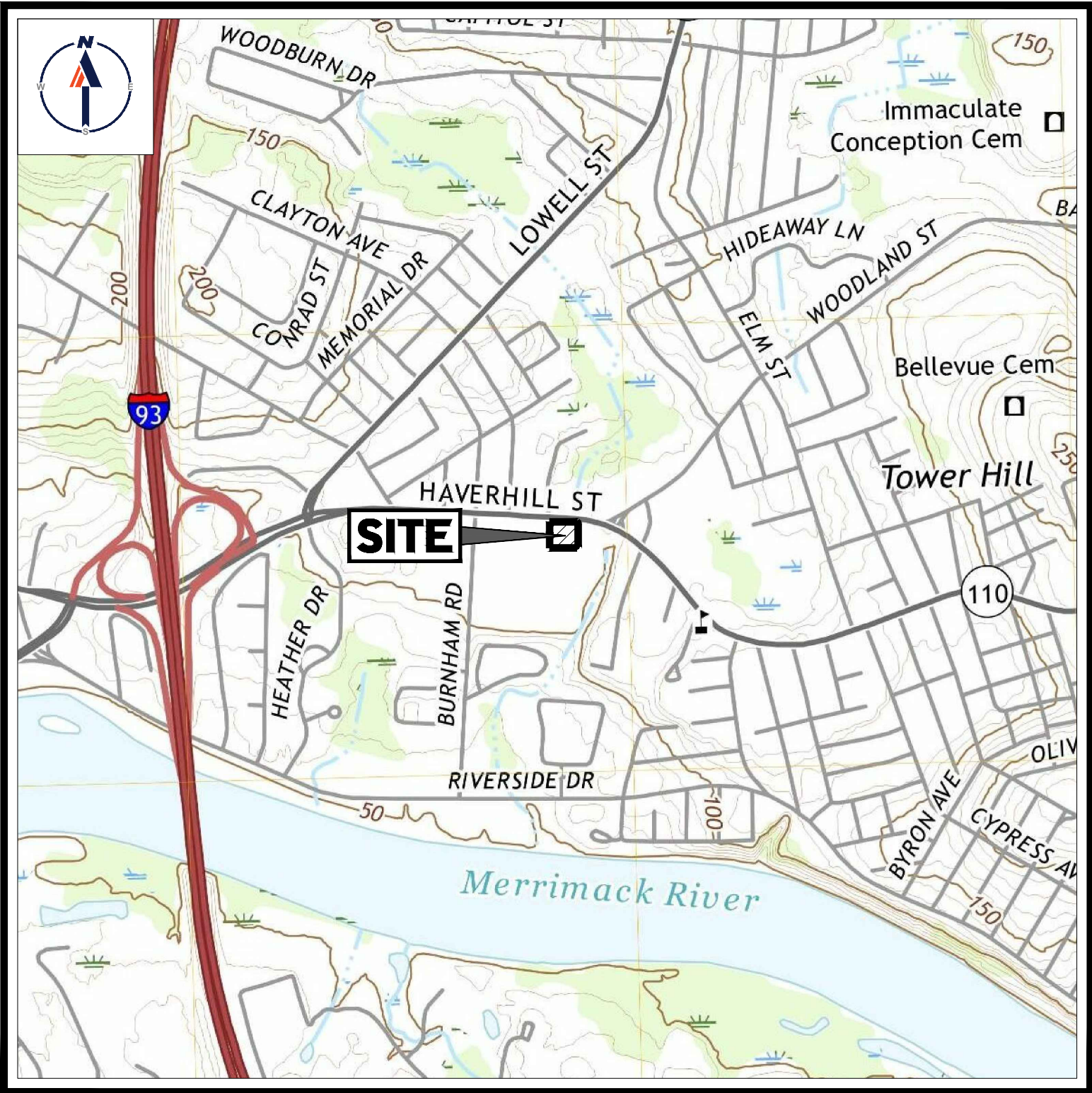
SHEET NO.

C-101

OF 7

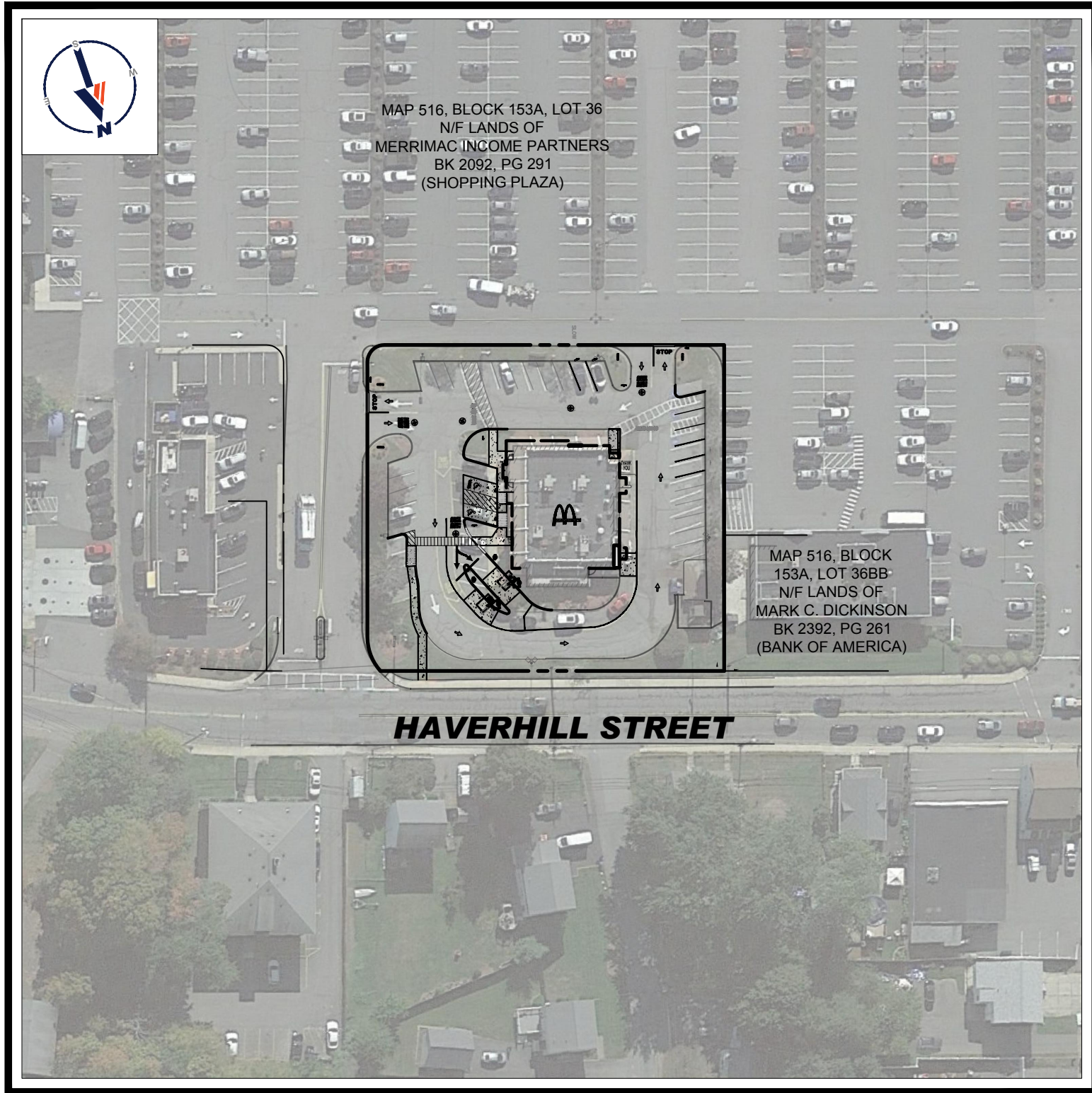
DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING & DRAINAGE PLAN	C-401
DETAIL SHEET	C-901
DETAIL SHEET	C-902
BUILDING ELEVATIONS (BY OTHERS)	2 SHEETS
BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY (BY OTHERS)	1 SHEET



USGS MAP

SCALE: 1" = 1,000'
SOURCE: LAWRENCE MASSACHUSETTS USGS QUADRANGLE



SITE MAP

SCALE: 1" = 80'
SOURCE: GOOGLE AERIAL

BOHLER TM

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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COMPLIANCE CHECK DATE

CONSTRUCTION CHECK DATE

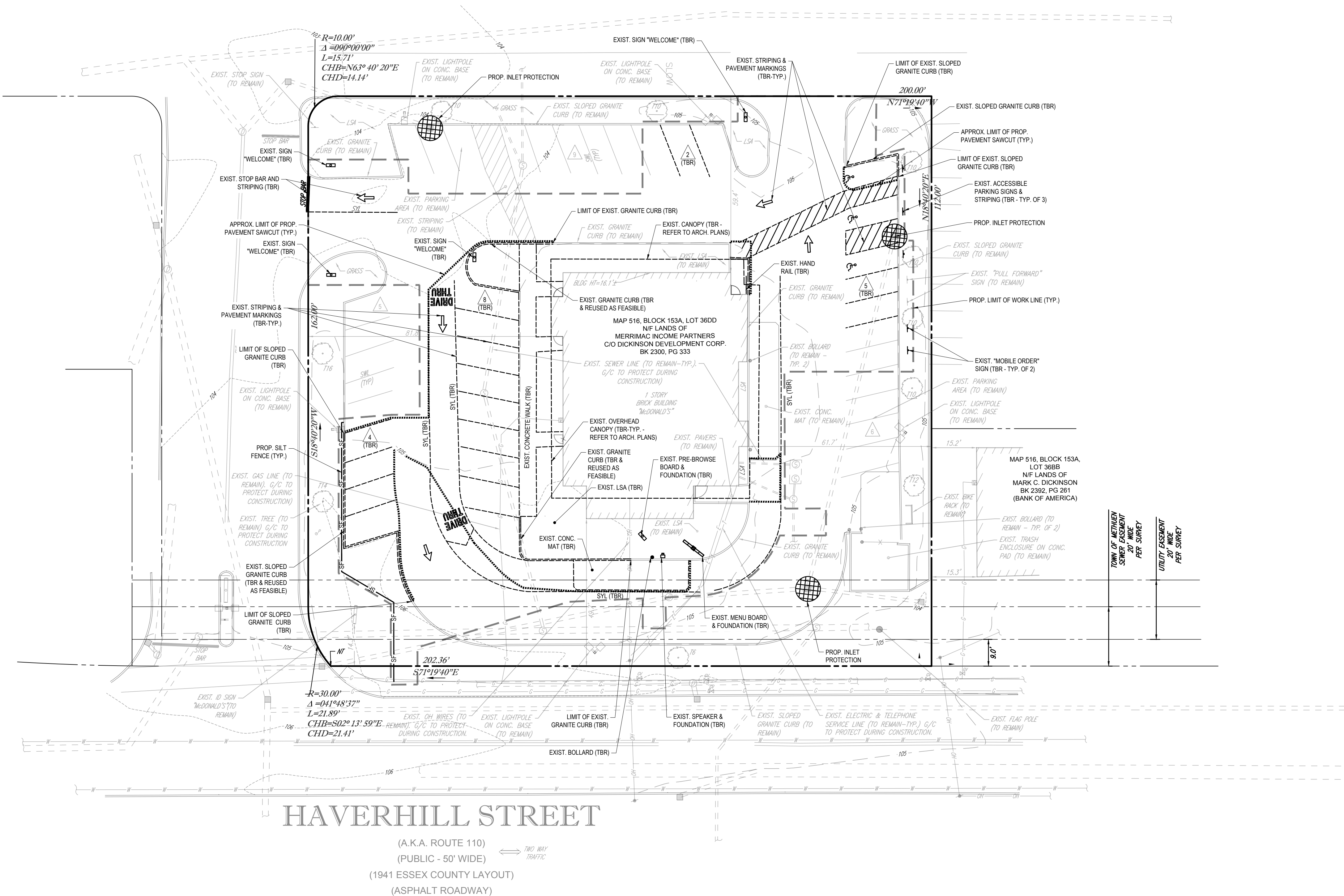
CONSTRUCTION CHECK DATE

PROJECT No.:
W192015

CAD I.D. #:
W192015-SPPD-0a.dwg



MAP 516, BLOCK 153A, LOT 36
N/F LANDS OF
MERRIMAC INCOME PARTNERS
BK 2092, PG 291
(SHOPPING PLAZA)



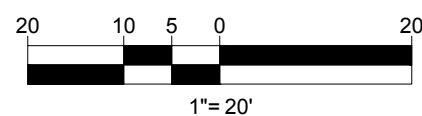
HAVERHILL STREET

(A.K.A. ROUTE 110)
(PUBLIC - 50' WIDE)
(1941 ESSEX COUNTY LAYOUT)
(ASPHALT ROADWAY)

**CONTRACTOR SHALL CONFIRM ALL
UTILITY & DRAINAGE LOCATIONS
PRIOR TO CONSTRUCTION AND
SHALL NOTIFY ENGINEER IN WRITING
IF ANY CONFLICTS OCCUR.**

**REFER TO GENERAL NOTES SHEET FOR
DEMOLITION NOTES**

**THIS PLAN TO BE UTILIZED FOR
DEMOLITION/REMOVAL & SOIL
EROSION/ SEDIMENT CONTROL
PURPOSES ONLY**



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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COMPLIANCE CHECK DATE

CONSTRUCTION CHECK DATE

CONSTRUCTION CHECK DATE

PROJECT No.:
W192015

CAD I.D. #:
W192015-SPPD-0a.dwg

ISSUED FOR PERMIT

STREET ADDRESS
170 HAVERHILL STREET

CITY
METHUEN

STATE
MA

COUNTY
ESSEX

SITE I.D.

020-0292

PLAN DESCRIPTION
**DEMOLITION, EROSION
AND SEDIMENT
CONTROL PLAN**

STATUS

DRAWN BY:

PLAN CHECKED

AS-BUILT

DATE

04/28/22

04/28/22

SHEET NO.

C-201

OF 7

McDonald's

AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION

BOSTON REGION
110 N CARPENTER ST
CHICAGO, IL 60607

PLAN APPROVALS
DATE
SIGNATURE
APPROVED MCDONALD'S AGENT

STATUS

DRAWN BY:

PLAN CHECKED

AS-BUILT

DATE

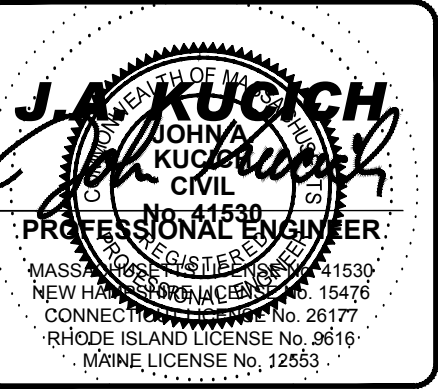
04/28/22

04/28/22

SHEET NO.

C-201

OF 7



McDonald's

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BOSTON REGION
110 N CARPENTER ST
CHICAGO, IL 60607

PLAN APPROVALS
DATE
SIGNATURE
APPROVED MCDONALD'S AGENT

STATUS

DRAWN BY:

PLAN CHECKED

AS-BUILT

DATE

04/28/22

04/28/22

SHEET NO.

C-201

OF 7



SITE INFORMATION

1. APPLICANT:
McDONALD'S USA, LLC
110 CARPENTER ST
CHICAGO, IL 60607
2. OWNER:
MERRIMAC INCOME PARTNERS
1266 FURNACE BROOK PKWY
QUINCY, MA 02169
3. PARCEL:
MAP 516, BLOCK 153A, LOT 36DD
170 HAVERHILL STREET
METHUEN, MA 01844

ZONING ANALYSIS TABLE

ZONING DISTRICT		HIGHWAY BUSINESS DISTRICT (BH)	
OVERLAY DISTRICT		N/A	
REQUIRED PERMIT		COMMUNITY DEVELOPMENT BOARD SPECIAL PERMIT & SPR	
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 SF	40,251 SF	NO CHANGE
MIN. LOT WIDTH	100'	202.4'	NO CHANGE
MAX. BLDG COVERAGE	35%	11.9%	12.0%
MIN. FRONT SETBACK	25'	49.7'	NO CHANGE
MIN. SIDE SETBACK	30'	61.7'	NO CHANGE
MIN. REAR SETBACK	30'	54.9'	NO CHANGE
MAX. BUILDING HEIGHT	40' / 3 STORIES	16.1'	19.4'
PARKING SPACES	24	37	30
ACCESS. PARKING SPACES	2	3	2
PARKING STALL CRITERIA STANDARD: 9 FT x 18 FT COMPACT: 8 FT x 16 FT	USE/CATEGORY: EATING PLACES SERVING FOOD OR BEVERAGES REQUIRED PARKING: 1 SPACE / 2 EMPLOYEES ON MAX SHIFT + 1 SPACE / TABLE OF 4 + 1 SPACE / 100 SF OF FUNCTION ROOMS NOT DESIGNED FOR EATING CALCULATION: 12 EMPLOYEES X (1 SPACE / 2 EMPLOYEES) + 18 TABLES OF 4 X (1 SPACE / TABLE OF 4) = 24 SPACES		
ACCESSIBLE PARKING CRITERIA STANDARD: 8 FT x 18 FT STALL (MIN.) 5 FT x 18 FT AISLE (MIN.) VAN: 8 FT x 18 FT STALL (MIN.) 8 FT x 18 FT AISLE (MIN.)	26-50 SPACES = 2 MIN. ACCESSIBLE SPACES 1 ACCESSIBLE VAN SPACE PER 6 STANDARD ACCESSIBLE SPACES (MIN.)		

SIGN SUMMARY TABLE

TYPE	ALLOWED	EXISTING	PROPOSED
SITE SIGNAGE			
FREESTANDING I.D. SIGN	1 @ MAX 20' TALL AND 12.5' FROM STREET LOT LINE	1 @ UNKNOWN SF	NO CHANGE
BUILDING SIGNAGE			
FRONT WALL SIGN	UNLIMITED QUANTITY @ 33% OF WALL AREA (MAX 352 SF TOTAL) 0.33 X ±5,100 SF = 1,683 SF	1 "McDONALD'S" SIGN @ 34 SF	1 "M" LOGO @ 14 S.F.
NON DRIVE THRU WALL SIGN		NONE	1 "M" LOGO @ 14 S.F.
DRIVE THRU WALL SIGN		NONE	NONE
REAR WALL SIGN		1 "McDONALD'S" SIGN @ 34 SF	1 "McDONALD'S" SIGN @ 34 SF
TOTAL BUILDING SIGNAGE	MAX. 352 SF	2 @ UNKNOWN SF	3 @ 62 SF

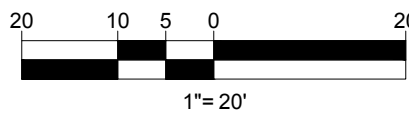
NOTE: ALL SIGNS AREAS ARE "BOXED" FOR CALCULATIONS
*MAX. WALL SIGN AREA 33% OF FRONT WALL AREA

PAVEMENT STRIPING
LEGEND

4"/D/S/L = 4" DOUBLE YELLOW SOLID LINE
6"/S/S/L = 6" SINGLE YELLOW SOLID LINE
8"/S/S/L = 8" SINGLE YELLOW SOLID LINE
4"/S/W/L = 4" SINGLE WHITE SOLID LINE

CONTRACTOR SHALL CONFIRM ALL
UTILITY & DRAINAGE LOCATIONS
PRIOR TO CONSTRUCTION AND
SHALL NOTIFY ENGINEER IN WRITING
IF ANY CONFLICTS OCCUR.

THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY. REFER TO
GENERAL NOTES
SHEET FOR ADDITIONAL NOTES



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SITE CIVIL AND CONSULTING ENGINEERING
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COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.: W192015	
CAD I.D. #: W192015-SPPD-0a.dwg	

ISSUED FOR PERMIT

STREET ADDRESS
170 HAVERHILL STREET

CITY
METHUEN

STATE
MA

COUNTY
ESSEX

SITE I.D.

020-0292

PLAN DESCRIPTION

**SITE LAYOUT
PLAN**

STATUS

DRAWN BY:

04/28/22

CSE

PLAN CHECKED

04/28/22

JAK

AS-BUILT

SHEET NO.

C-301

OF 7



Know what's below.
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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

\\bohleng\indiana\MA-PROJECTS\01\192015\CAD\Drawings\Plan_Site\Civil_Site_Plan\W192015-SPPD-0a.dwg, C-301-Site, 4/23/2020, 10:17:14 AM, csmc, Xref\0510-1.pcd, User\$34, 1:1

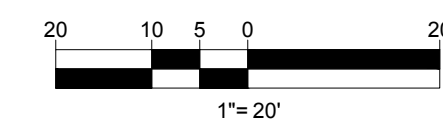


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**5.0' X 5.0' (MIN.) LEVEL LANDING
($<2.0\%$ SLOPE IN ANY DIRECTION)
AREA TO BE PROVIDED AT ALL DOORS
& TOP & BOTTOM OF ALL RAMPS.**

**THIS PLAN TO BE UTILIZED FOR SITE
GRADING PURPOSES ONLY. REFER TO
GENERAL NOTES SHEET
FOR ADDITIONAL GRADING & UTILITY
NOTES**



SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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ISSUED FOR PERMIT	
STREET ADDRESS 170 HAVERHILL STREET	
CITY METHUEN	STATE MA
COUNTY ESSEX	
SITE I.D. 020-0292	PLAN DESCRIPTION GRADING & DRAINAGE PLAN

STATUS	DATE	BY
DRAWN BY:	04/28/22	CSE
PLAN CHECKED	04/28/22	JAK
AS-BUILT		
SHEET NO.		
C-401		

J.A. KUCICH
JOHN A. KUCICH
CIVIL
No. 12553
PROFESSIONAL ENGINEER
STATE OF MAINE

MASSACHUSETTS REGISTRATION NO. 41530
 NEW HAMPSHIRE REGISTRATION NO. 15476
 CONNECTICUT REGISTRATION NO. 26177
 RHODE ISLAND LICENSE NO. 9616
 MAINE LICENSE NO. 12553

McDonald's

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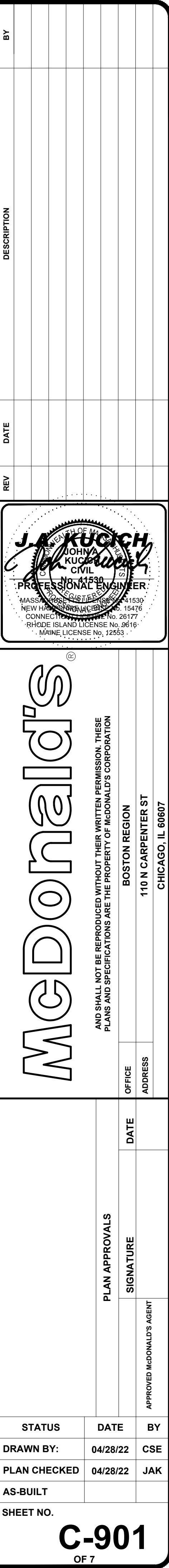
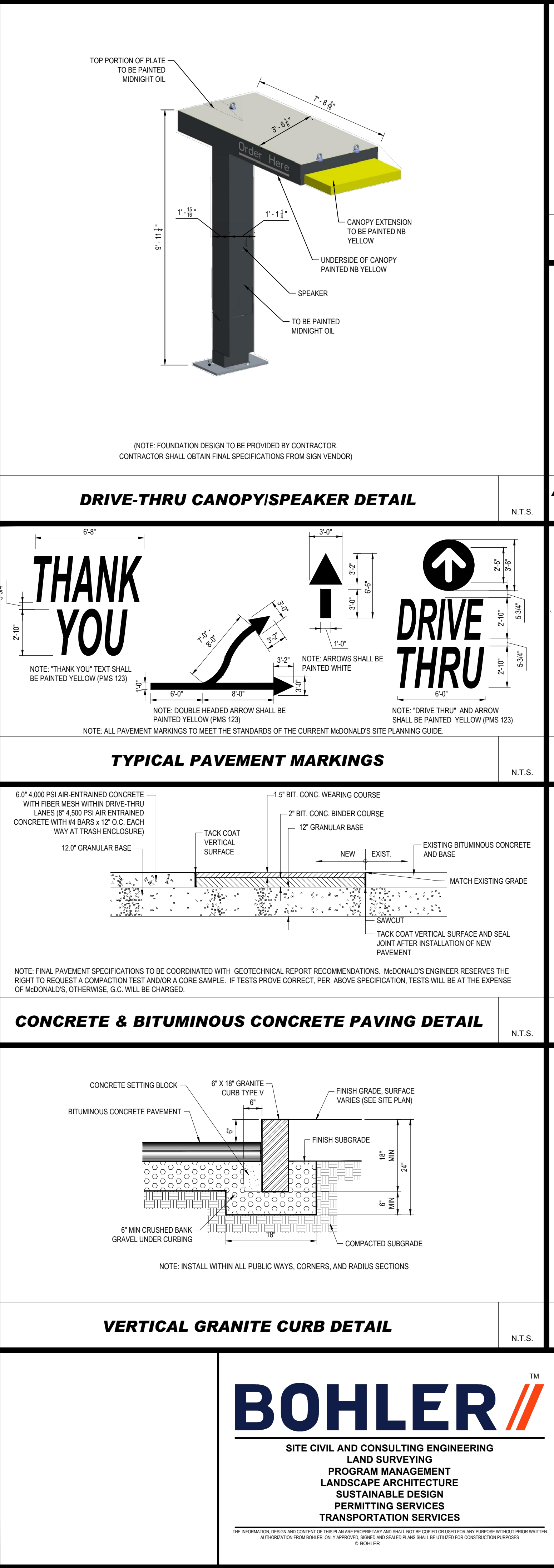
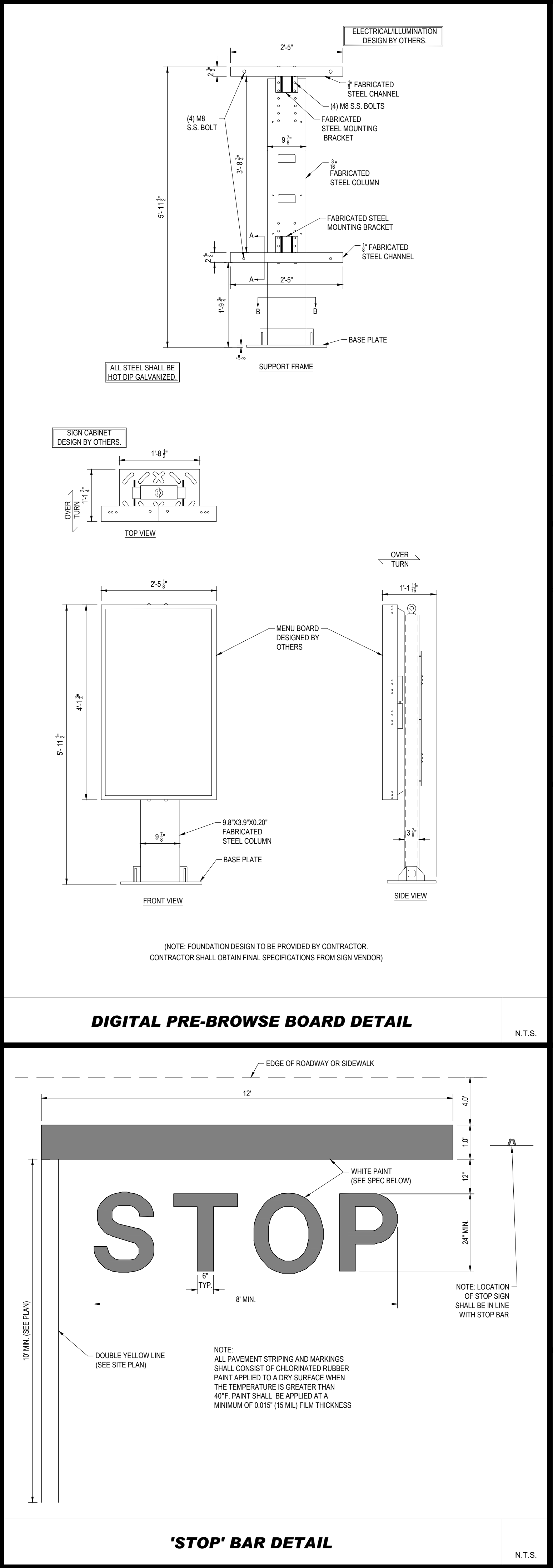
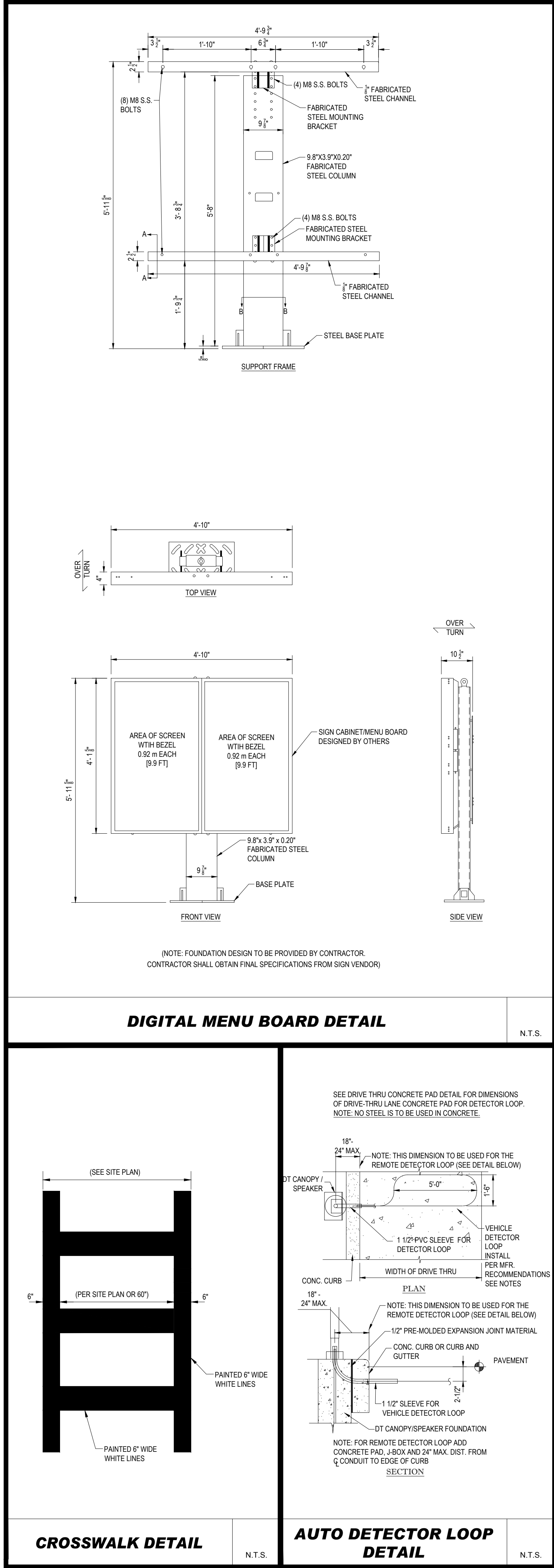
ICE	BOSTON REGION
DRESS	110 N CARPENTER ST CHICAGO, IL 60607

PLAN APPROVALS		OFFICE
SIGNATURE	DATE	ADDRESS

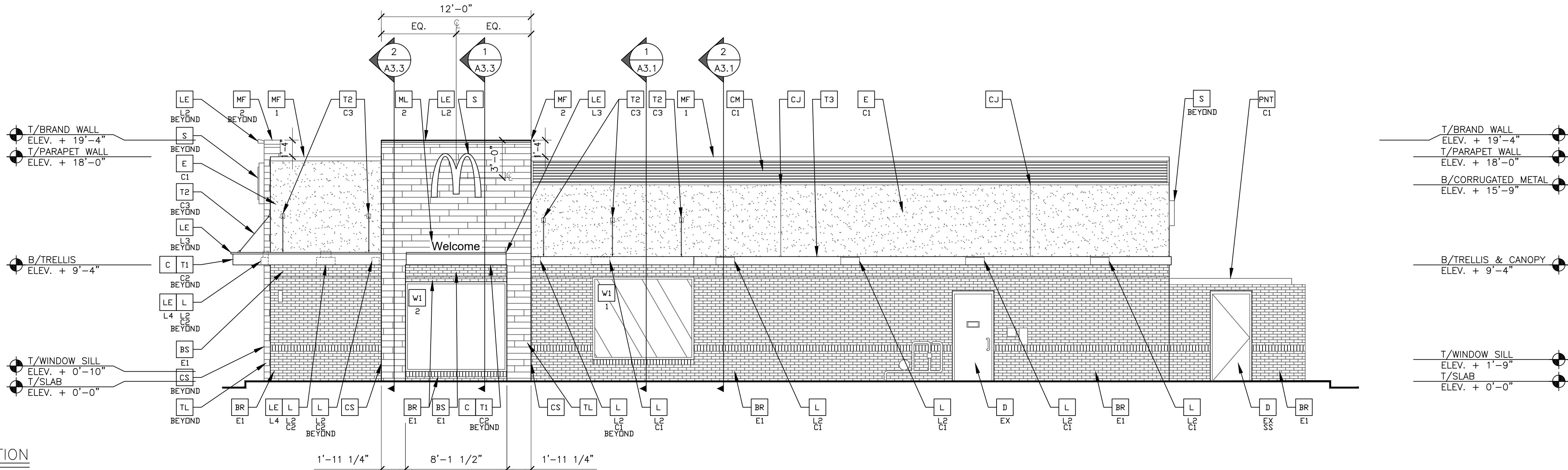
APPROVED McDONALD'S AGENT	BY	CSE	JAK
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C-401
OF 7

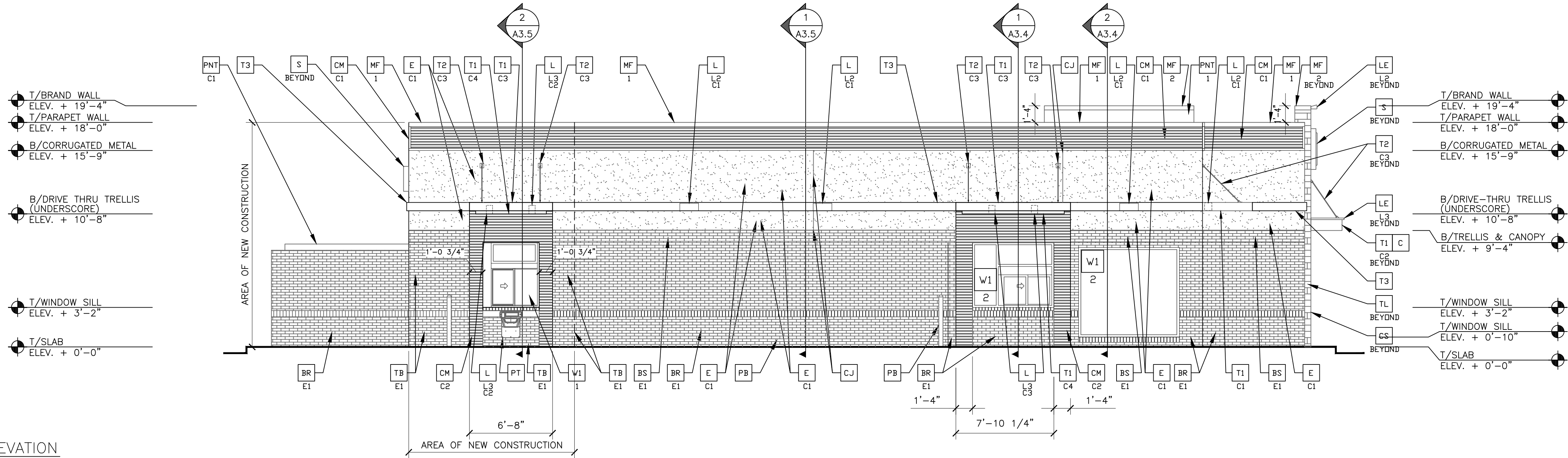
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1 NON-DRIVE-THRU ELEVATION
A2.0 3/16" = 1'-0"



2 DRIVE-THRU ELEVATION
A2.0 3/16" = 1'-0"



COLOR SCHEME: 'MODERN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

- BS** PAINTED NICHIA "PLYMOUTH BRICK" SIDING, MATCH ADJACENT BRICK SIZE AND PATTERN
XX-COLOR:
C1 = HC-168 CHELSEA GRAY BY BENJAMIN MOORE
C2 = PAINTED MASONRY-COLOR: 2134-30 IRON MOUNTAIN
- TL** TILE
EUROWEST: E-WOOD COLLECTION
COLOR: R9 BLACK SIZE: 6"x36" 1/4 RUNNING BOND
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500
- CS** OUTSIDE CORNER STRIPS
RONDEC R0100TSDA BY SCHLUTER SYSTEMS
ALUMINUM; HEIGHT:10MM COLOR: DARK ANTHRACITE
COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817
- PNT** PAINT EXISTING
MATCH TO BENJAMIN MOORE OR EQUAL
XX-COLOR:
C2 = 2134-30 IRON MOUNTAIN BY BENJAMIN MOORE
- MS** NEW CORRUGATED METAL SCREEN
XX-TYPE:
C1 = HC-168 CHELSEA GRAY BY BENJAMIN MOORE
- CJ** CONTROL JOINT

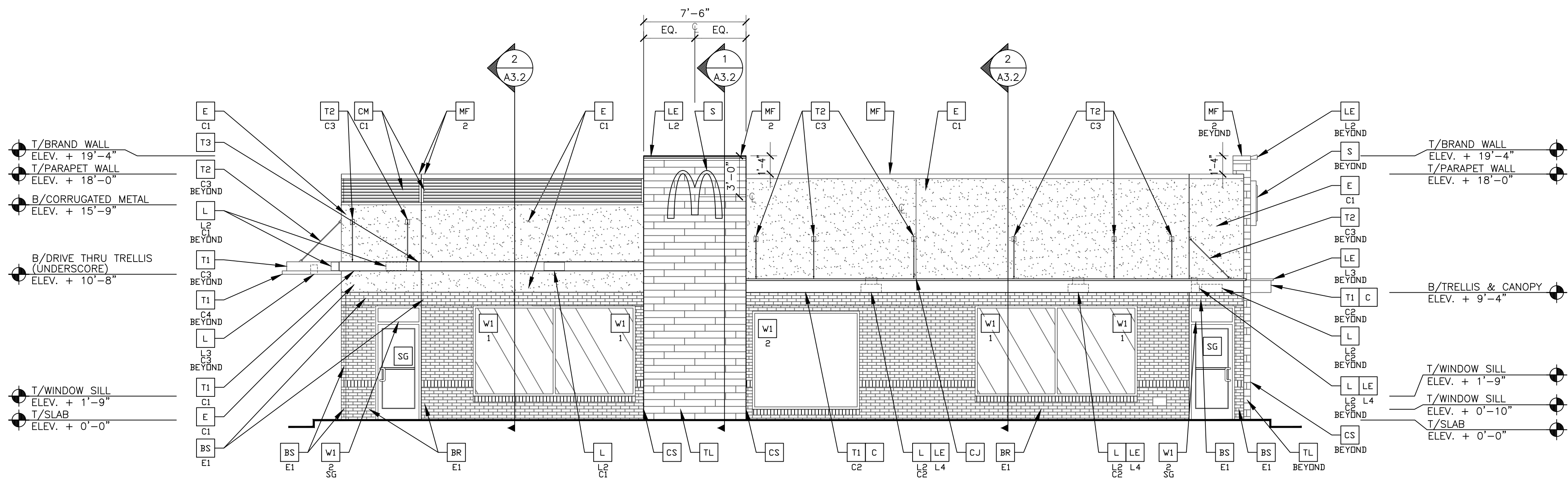
- BR** FACE BRICK
XX-TYPE:
C1 = PAINTED MASONRY-COLOR: HC-168 CHELSEA GRAY
C2 = PAINTED MASONRY-COLOR: 2134-30 IRON MOUNTAIN
- C** ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- T1** ALUMINUM TRELLIS SYSTEM
XX-COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T2** ALUMINUM TRELLIS TIE-BACK SYSTEM
XX-COLOR:
C3 = CHARCOAL
- T3** ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM
COLOR: CITYSCAPE
- RL** ROOF LADDER
XX-TYPE:
C1 = HC-168 CHELSEA GRAY BY BENJAMIN MOORE
- MF** METAL FASCIA (COLOR: CITYSCAPE)
XX-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
- ML** METAL LETTERING - BY OTHERS
X-TYPE:
1 = 'WELCOME' - COLOR: SILVER

- TB** NEW THIN BRICK VENEER (NICHIA)
XX-TYPE:
C1 = PAINTED MASONRY-COLOR: HC-168 CHELSEA GRAY
C2 = PAINTED MASONRY-COLOR: 2134-30 IRON MOUNTAIN
- GR** GUARDRAIL - PAINT HC-168 CHELSEA GRAY BY BENJAMIN MOORE
X-TYPE:
2 = EXISTING GUARDRAIL TO REMAIN
- PT** PASS-THRU COIN COLLECTOR (RMHC) - EXISTING RELOCATED
- RD** ROOF DRAIN OVERFLOW PIPE
PAINT TO MATCH SURROUNDING MATERIAL
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- PB** PIPE BOLLARD - PAINTED YELLOW
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E** HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE. FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
XX-COLOR:
C1 = HC-168 CHELSEA GRAY BY BENJAMIN MOORE
C2 = 2134-30 IRON MOUNTAIN BY BENJAMIN MOORE
- CM** CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"

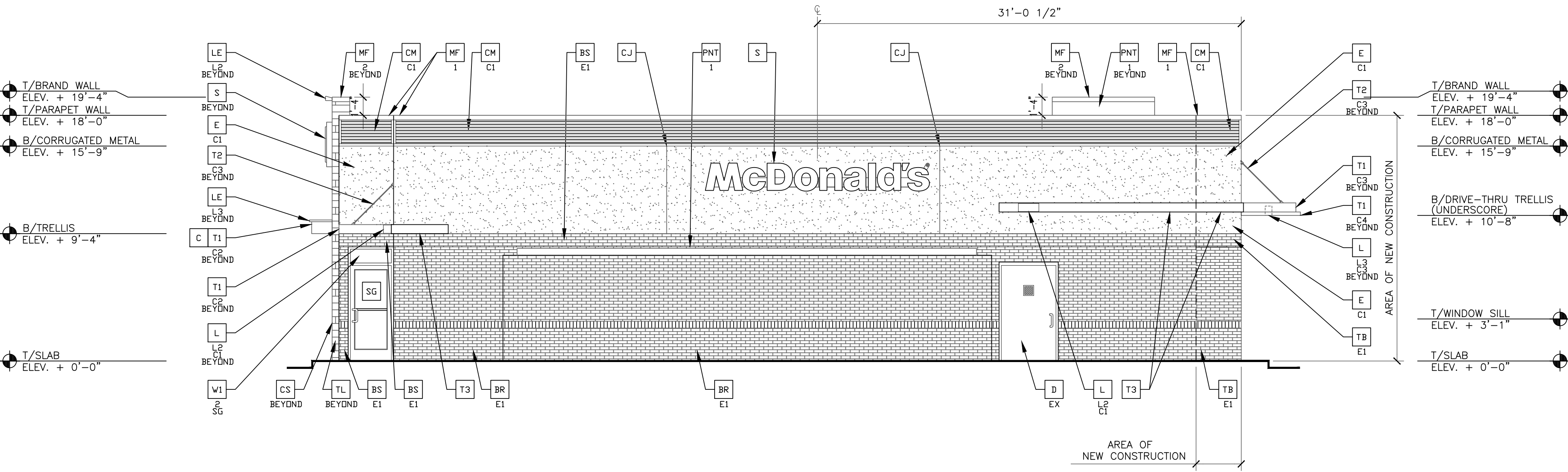
- L** LIGHT FIXTURE - SEE ELECTRICAL
XX-TYPE:
L2 = DOWN ONLY FIXTURE
L3 = RECESSED DOWN FIXTURE
COLOR:
C1 = SILVER
C2 = WHITE
C3 = GOLD
- LE** ACCENT LIGHTING - SEE ELECTRICAL
XX-LED LIGHT:
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- W1** STOREFRONT AND GLAZING
X- 1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN
SG = SAFETY GLASS
- SG** SAFETY GLASS
- W3** NEW PASS-THRU WINDOW
XX-SLIDE DIRECTION:
RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
COLOR:
C1 = CHELSEA GRAY
C2 = IRON MOUNTAIN

TITLE ELEVATIONS		DRAWN BY ---		STD ISSUE DATE MAR 2022		REVIEWED BY CP		DATE ISSUED 03/01/2022		SHEET NO. A2.0		PROJ.# 1803376		DESCRIPTION REMODEL DESIGN PER SAO BACKCAST CRITERIA		SITE ADDRESS 170 HAVERHILL ST. METHUEN, MA 01844		20-0292		CP		BY	
McDonald's USA, LLC		© 2016 McDonald's USA, LLC		PREPARED BY: skyBorne Technologies		P.O. BOX 875 Westford, MA 01886		SKYBORNE DESIGN TEAM HELPLINE 631-944-8000		FOR REVIEW		DATE 03.08.22		REVISION 0		DATE 03.08.22		DESCRIPTION FOR REVIEW		CP		BY	

1
A2.1 FRONT ELEVATION
3/16" = 1'-0"



2
A2.1 REAR ELEVATION
3/16" = 1'-0"



COLOR SCHEME: 'MODERN' SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)


KEY NOTES:

- BS** PAINTED NICHIA "PLYMOUTH BRICK" SIDING, MATCH ADJACENT BRICK SIZE AND PATTERN
XX-COLOR:
C1 = HC-168 CHELSEA GRAY BY BENJAMIN MOORE
C2 = PAINTED MASONRY-COLOR: 2134-30 IRON MOUNTAIN
- TL** TILE
EUROWEST: E-WOOD COLLECTION
COLOR: R9 BLACK SIZE: 6"x36" 1/4 RUNNING BOND
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500
- CS** OUTSIDE CORNER STRIPS
RONDEC R0100TSDA BY SCHLUTER SYSTEMS
ALUMINUM; HEIGHT:10MM COLOR: DARK ANTHRACITE
COMMERCIALSUPPORT@SCHLUTER.COM, (800) 267-0817
- PNT** PAINT EXISTING
MATCH TO BENJAMIN MOORE OR EQUAL
XX-COLOR:
C2 = 2134-30 IRON MOUNTAIN BY BENJAMIN MOORE
- MS** NEW CORRUGATED METAL SCREEN
XX-TYPE:
C1 = HC-168 CHELSEA GRAY BY BENJAMIN MOORE
- CJ** CONTROL JOINT

- BR** FACE BRICK
XX-TYPE:
C1 = PAINTED MASONRY-COLOR: HC-168 CHELSEA GRAY
C2 = PAINTED MASONRY-COLOR: 2134-30 IRON MOUNTAIN
- C** ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- T1** ALUMINUM TRELLIS SYSTEM
XX-COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T2** ALUMINUM TRELLIS TIE-BACK SYSTEM
XX-COLOR:
C3 = CHARCOAL
- T3** ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM
COLOR: CITYSCAPE
- RL** ROOF LADDER
XX-TYPE:
C1 = HC-168 CHELSEA GRAY BY BENJAMIN MOORE
- MF** METAL FASCIA (COLOR: CITYSCAPE)
XX-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
- ML** METAL LETTERING - BY OTHERS
X-TYPE:
1 = 'WELCOME' - COLOR: SILVER

- TB** NEW THIN BRICK VENEER (NICHIA)
XX-TYPE:
C1 = PAINTED MASONRY-COLOR: HC-168 CHELSEA GRAY
C2 = PAINTED MASONRY-COLOR: 2134-30 IRON MOUNTAIN
- GR** GUARDRAIL - PAINT HC-168 CHELSEA GRAY BY BENJAMIN MOORE
X-TYPE:
2 = EXISTING GUARDRAIL TO REMAIN
- PT** PASS-THRU COIN COLLECTOR (RMHC) - EXISTING RELOCATED
- RD** ROOF DRAIN OVERFLOW PIPE
PAINT TO MATCH SURROUNDING MATERIAL
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
- PB** PIPE BOLLARD - PAINTED YELLOW
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- E** HIGH IMPACT ZONES: 'PANZER 20' ULTRA HIGH IMPACT MESH EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.) 'OUTSULATION PLUS MD' BY DRYVIT OR EQUAL ASSEMBLY FOR EIFS AREAS WITHIN 8'-0" OF GRADE. FINISH: HYDROPHOBIC TEXTURE: SANDPEBBLE
- CM** CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"

- L** LIGHT FIXTURE - SEE ELECTRICAL
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COLOR:
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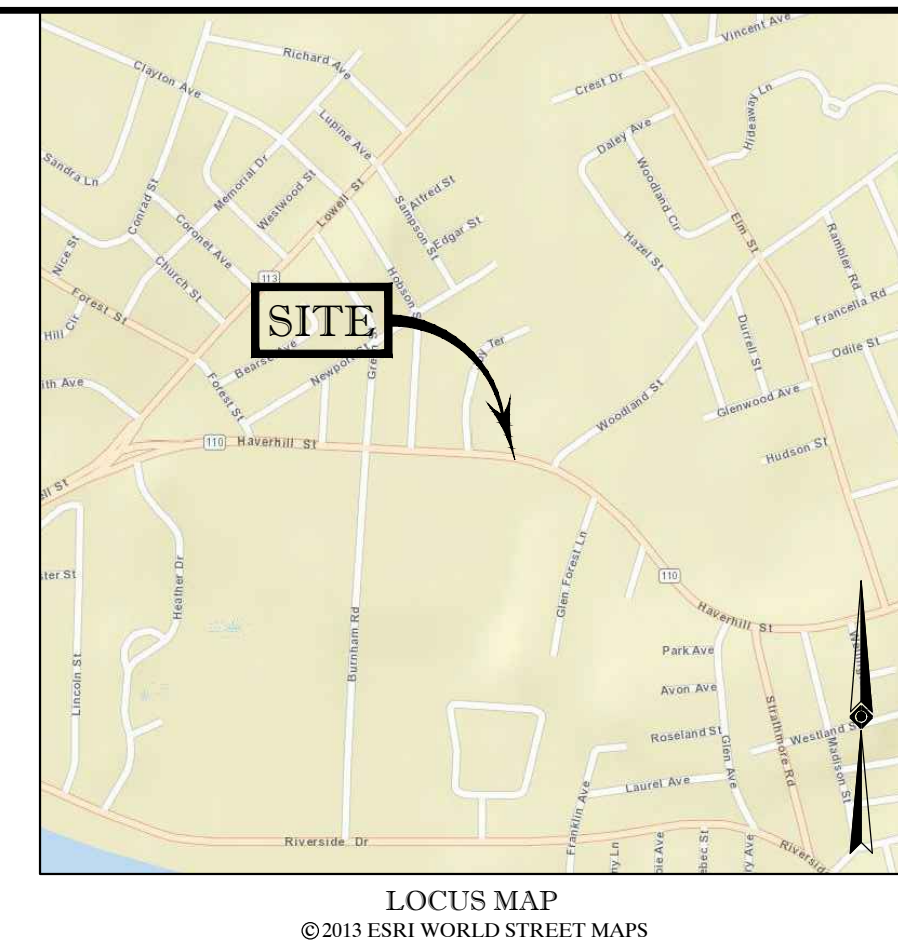
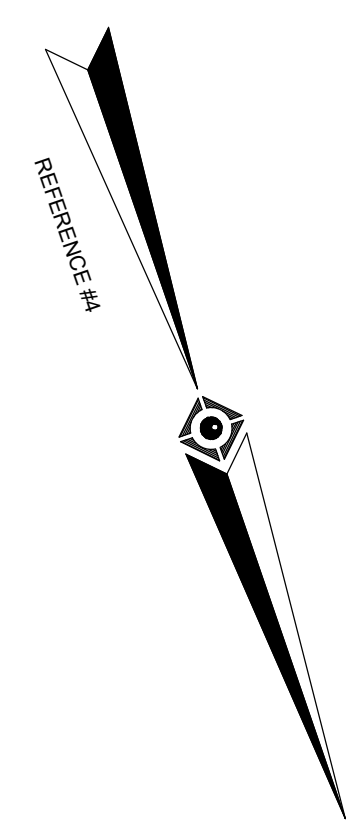
SHEET NO.		TITLE		DRAWN BY		PREPARED FOR:		© 2016 McDonald's USA, LLC		PREPARED BY:				<div>skyBorne Technologies</div> <div>P.O. BOX 875 Westford, MA 01886</div> <div>SKYBORNE DESIGN TEAM HELPLINE 631-944-8000</div>		REV		DATE		0		03.08.22		FOR REVIEW		CP		BY																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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PREPARED BY:
SkyBorne Technologies
P.O. BOX 875
Westford, MA 01886
SKYBORNE DESIGN TEAM HELPLINE
631-944-8000

PREPARED FOR:
McDonald's USA, LLC
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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS,
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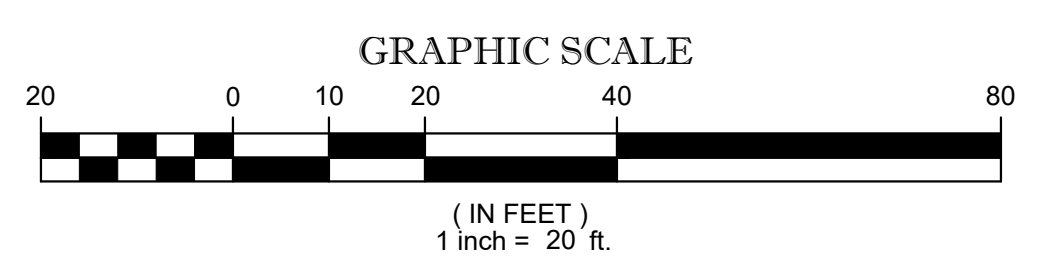
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|--------|---|
| | EXISTING CONTOUR |
| | EXISTING SLOPE ELEVATION |
| | EXISTING TOP OF CURB ELEVATION |
| | EXISTING GUTTER ELEVATION |
| | EXISTING TOP OF WALL ELEVATION |
| | EXISTING TOP OF WALL ELEVATION |
| | EXISTING BOTTOM OF WALL ELEVATION |
| | EXISTING FINISHED FLOOR ELEVATION |
| | EXISTING DOOR SILL ELEVATION |
| | WATER VALVE |
| | GAS VALVE |
| | OVERHEAD WIRES |
| | APPROX. LOC. UNDERGROUND GAS LINE |
| | APPROX. LOC. UNDERGROUND ELECTRIC LINE |
| | APPROX. LOC. UNDERGROUND TELEPHONE LINE |
| | UTILITY POLE |
| | AREA LIGHT |
| | SIGN |
| | BOLLARD |
| | POST |
| | PAINTED ARROWS |
| | DEPRESSED CURB |
| | EDGE OF CONCRETE |
| | EDGE OF PAVEMENT |
| | LANDSCAPED AREA |
| | TYPICAL |
| | DRAINAGE/STORM MANHOLE |
| | SANITARY/SEWER MANHOLE |
| | UNKNOWN MANHOLE |
| | CATCH BASIN OR INLET |
| | TREE & TRUNK SIZE |
| | PARKING SPACE COUNT |
| | CORRUGATED METAL PIPE |
| | REINFORCED CONCRETE PIPE |
| | POLYVINYL CHLORIDE PIPE |
| | INVERT ELEVATION |
| | GRATE ELEVATION |
| | BUILDING DIMENSION |
| | SOLID WHITE LINE |
| | SOLID YELLOW LINE |
| | DOUBLE YELLOW LINE |
| | HEIGHT |
| | BUILDING |
| | NOT TANGENT |
| | SLOPED GRANITE CURB |
| | VERTICAL GRANITE CURB |




NOTES:

1. PROPERTY KNOWN AS LOT 36DD, BLOCK 153A AS SHOWN ON THE CITY OF METHUEN, ESSEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAP NO. 516.
2. AREA = 40,251 SQUARE FEET OR 0.924+ ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDS88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
9. THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN.
10. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
11. BUILDING DIMENSIONS AT GROUND LEVEL.

REFERENCES

1. THE TAX ASSESSOR'S MAP OF METHUEN, ESSEX COUNTY, MASSACHUSETTS, SHEET #516.
MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ESSEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 294 OF 600," MAP NUMBER 25090C0204F, EFFECTIVE DATE: JULY 3, 2012.
3. MAP ENTITLED "PLAN OF LAND IN METHUEN, MA., PREPARED FOR DICKINSON DEVELOPMENT CORP.," PREPARED BY VANASSE/HANGEN ENGINEERING, INC., DATED DECEMBER 29, 1983, REVISED JANUARY 14, 1984, RECORDED IN THE ESSEX COUNTY REGISTRY OF DEEDS, PLAN NO. 9772.
4. MAP ENTITLED "SITE CONSTRUCTION PLAN, McDONALD'S RESTAURANT, MERRIMACK PLAZA, HAVERHILL STREET, METHUEN, MASSACHUSETTS," PREPARED BY SOMERVILLE ENGINEERING, INC., DATED DECEMBER 1, 1985.
5. MAP ENTITLED "SITE PLAN IN METHUEN, MASS., McDONALD'S CORPORATION," PREPARED BY SOMERVILLE ENGINEERING, INC., DATED DECEMBER 8, 1985.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL		FIELD DATE 3-20-17 6-24-2021		BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY McDONALD'S USA, LLC 170 HAVERHILL STREET MAP 516, BLOCK 153A, LOT 36DD CITY OF METHUEN ESSEX COUNTY COMMONWEALTH OF MASSACHUSETTS		
		FIELD BOOK NO. 17-03MA 21-05 MA		FIELD BOOK PG. 60-61 64	FIELD CREW T.M. J.S.A. DRAWN: J.M.B. R.J.K.	 CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 ~ 508.948.3003 FAX
7-28-2021 DATE	REVIEWED: R.D.N.	APPROVED: G.L.H.	DATE 03-20-17	SCALE 1"=20'	FILE NO. 03-170057	DWG. NO. 1 OF 1