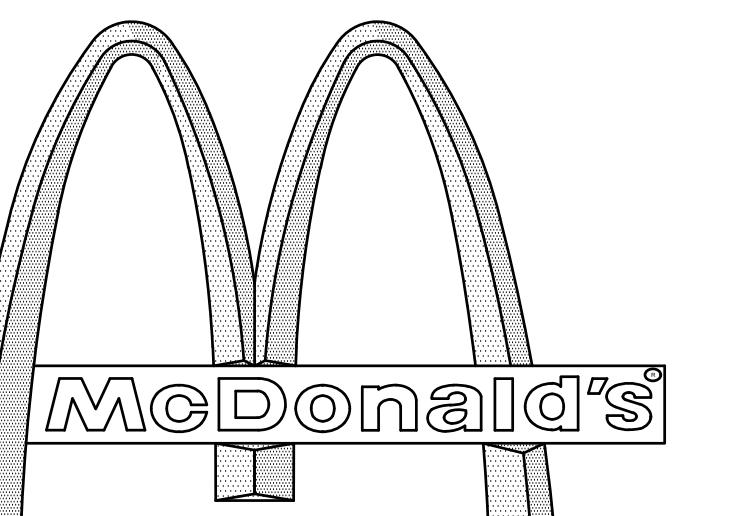


PROPOSED SITE PLAN DOCUMENTS

FOR

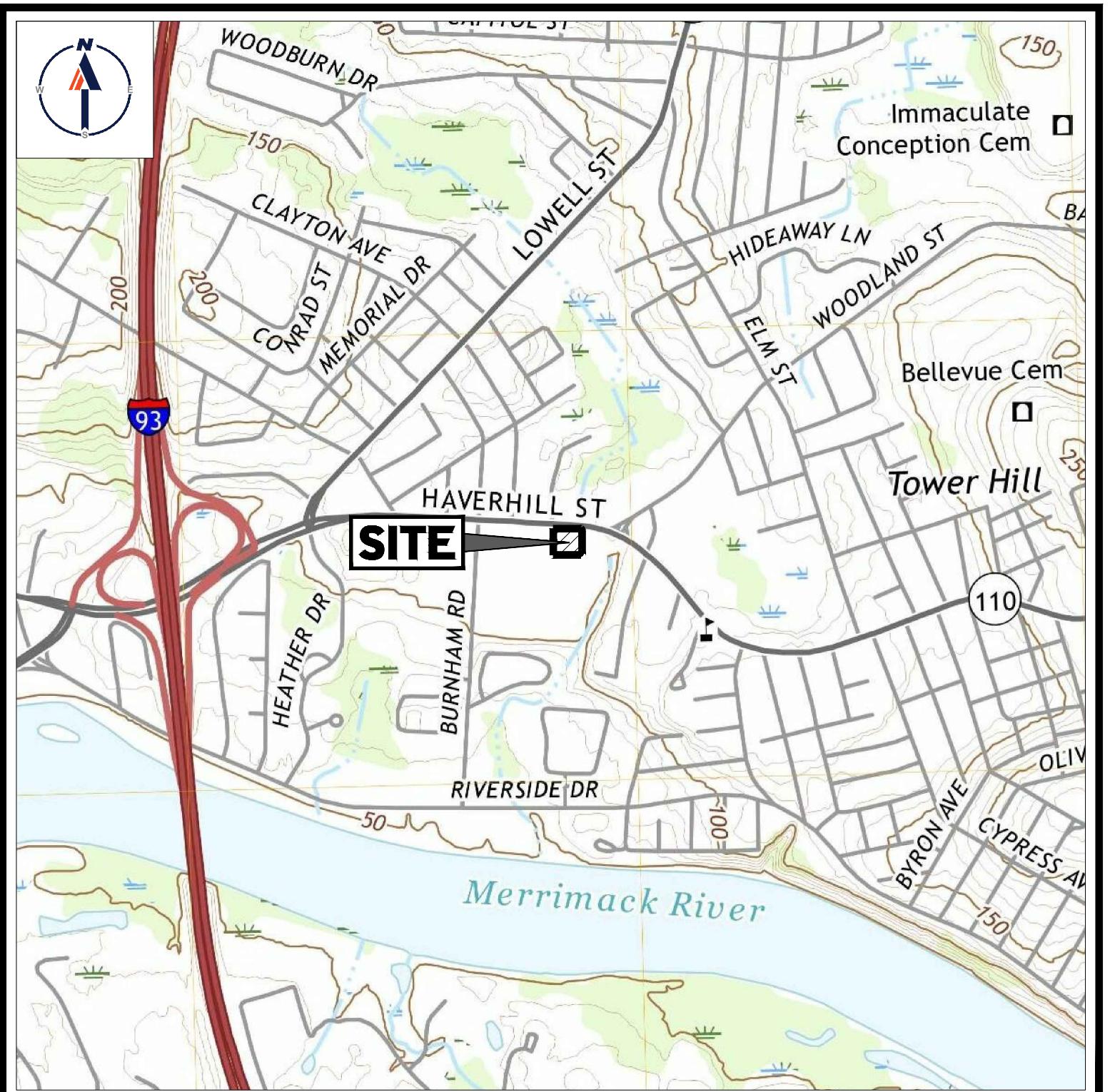
EXISTING



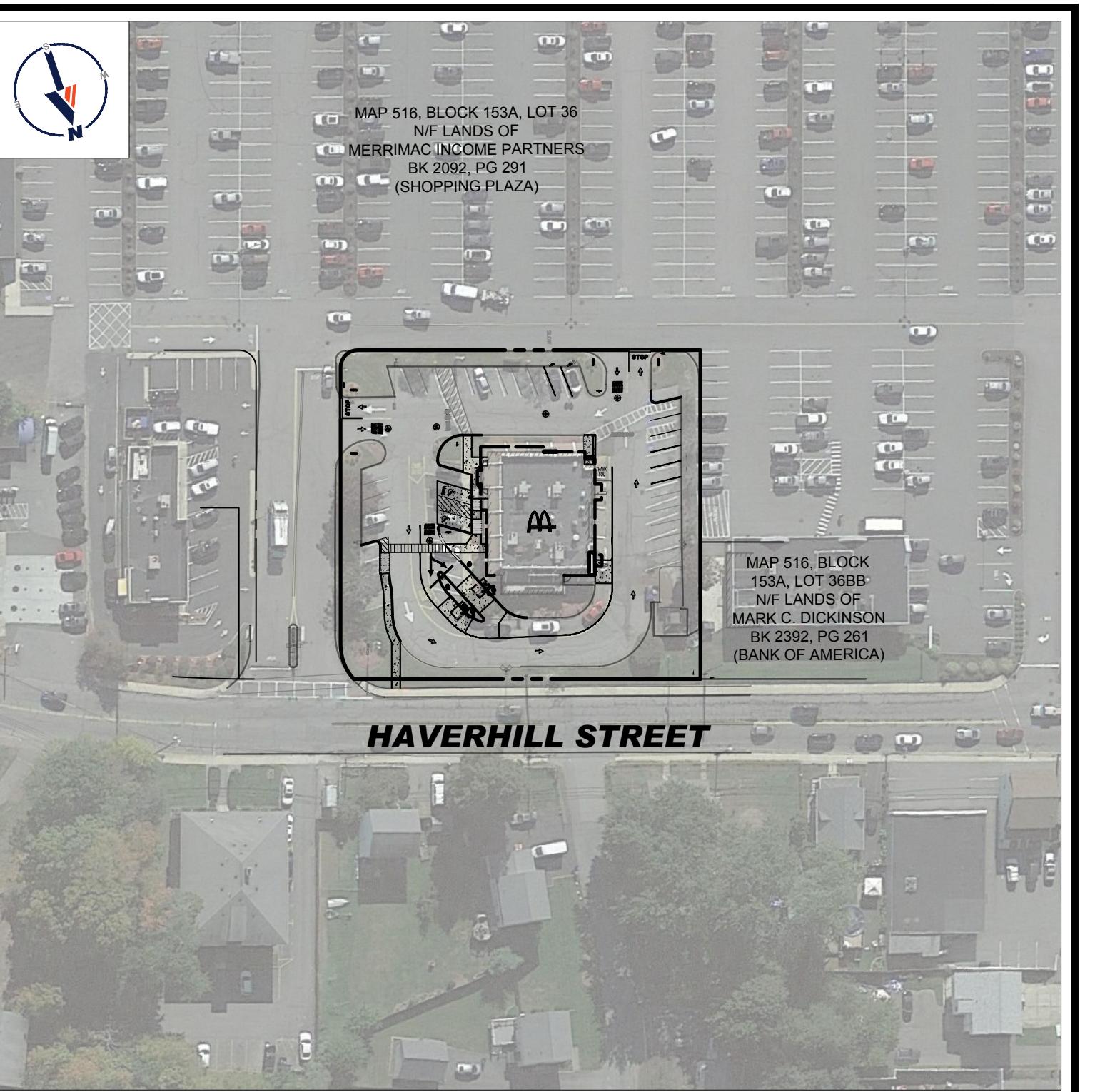
WITH DRIVE-THRU

LOCATION OF SITE

170 HAVERHILL STREET, CITY OF METHUEN
ESSEX COUNTY, MASSACHUSETTS
MAP #516, BLOCK #153A, LOT #36DD



USGS MAP
SCALE: 1" = 1,000'
SOURCE: LAWRENCE MASSACHUSETTS USGS QUADRANGLE



SITE MAP
SCALE: 1" = 80'
SOURCE: GOOGLE AERIAL

REFERENCES

BOUNDARY & TOPOGRAPHIC SURVEY:
CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
DATE: 03/20/2017

ARCHITECTURAL PLAN:
SKYBORNE TECHNOLOGIES
P.O. BOX 875, WESTFORD, MA 01886
DATE: 03/01/2022
REVISED: 03/08/2022

* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS; HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

GENERAL NOTES:

1. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
2. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
3. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
4. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
6. ALL ELEVATIONS SHOWN ARE BASED UPON NAVD 88 PER SURVEY NOTE #7.
7. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
8. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

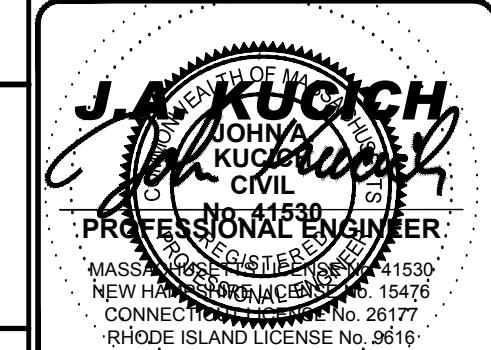
PAVING SPECIFICATION

(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION:
-1.5" M.04.02 CLASS 2 TOP COURSE
-1.5" M.04.02 CLASS 1 BASE COURSE
-12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

RIGID PAVEMENT SECTION:
-6.0" 4500 PSI AIR-ENTRAINED CONCRETE
-8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
-12.0" M.02.06 TYPE C PROCESSED GRAVEL SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. MCDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S; OTHERWISE, G.C. WILL BE CHARGED.



McDonald's

AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION

BOSTON REGION

110 N CARPENTER ST
CHICAGO, IL 60607

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION, EROSION AND SEDIMENT CONTROL PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING & DRAINAGE PLAN	C-401
DETAIL SHEET	C-901
DETAIL SHEET	C-902
BUILDING ELEVATIONS (BY OTHERS)	2 SHEETS
BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY (BY OTHERS)	1 SHEET

PARKING INFORMATION

TOTAL SPACES	1 PROPOSED SPACE	9.0' x 20.0' @ 75°
	2 PROPOSED SPACES	9.2' x 17.2' @ 69°
	5 PROPOSED SPACES	9.0' x 17.5' @ 77°
20 EXISTING SPACES		
2 PROPOSED HANDICAPPED SPACES		8.0' x 20.0' @ 75°

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
SANITARY SEWER	VARIES	PVC	ON-SITE / HAVERHILL ST
WATER	TBD	UG	HAVERHILL ST
STORM SEWER	VARIES	PVC	HAVERHILL ST
ELECTRIC	OH / UG	OH / UG	ON-SITE UP / HAVERHILL ST
GAS	UG	UG	ON-SITE / HAVERHILL ST

SURVEY INFORMATION

PREPARED BY: CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
JOB #: 03-170057
DATE: MARCH 20, 2017

TYPICAL LEGEND

EXISTING		PROPOSED
-----	PROPERTY LINE	-----
-----	SETBACK	-----
-----	EASEMENT	-----
-----	CURB	-----
○	STORM MANHOLE	○
○	SEWER MANHOLE	○
□	CATCH BASIN	□
△ WFS	WETLAND FLAG	△ WFS
-----	WETLAND LINE	-----
54.83	SPOT ELEVATION	54.58
53.78		53.78
53	TOP & BOTTOM OF CURB	53
-----	CONTOUR	-----
-----	FLOW ARROW	-----
OH OH OH	PAINTED ARROW	OH OH OH
G G G	OVERHEAD WIRE	G G G
T T T	GAS LINE	T T T
E E E	TELEPHONE LINE	E E E
W W W	ELECTRIC LINE	W W W
W W W	WATER LINE	W W W

ISSUED FOR PERMIT

STREET ADDRESS
170 HAVERHILL STREET
CITY METHUEN STATE MA
COUNTY ESSEX
SITE I.D. 020-0292 PLAN DESCRIPTION COVER SHEET

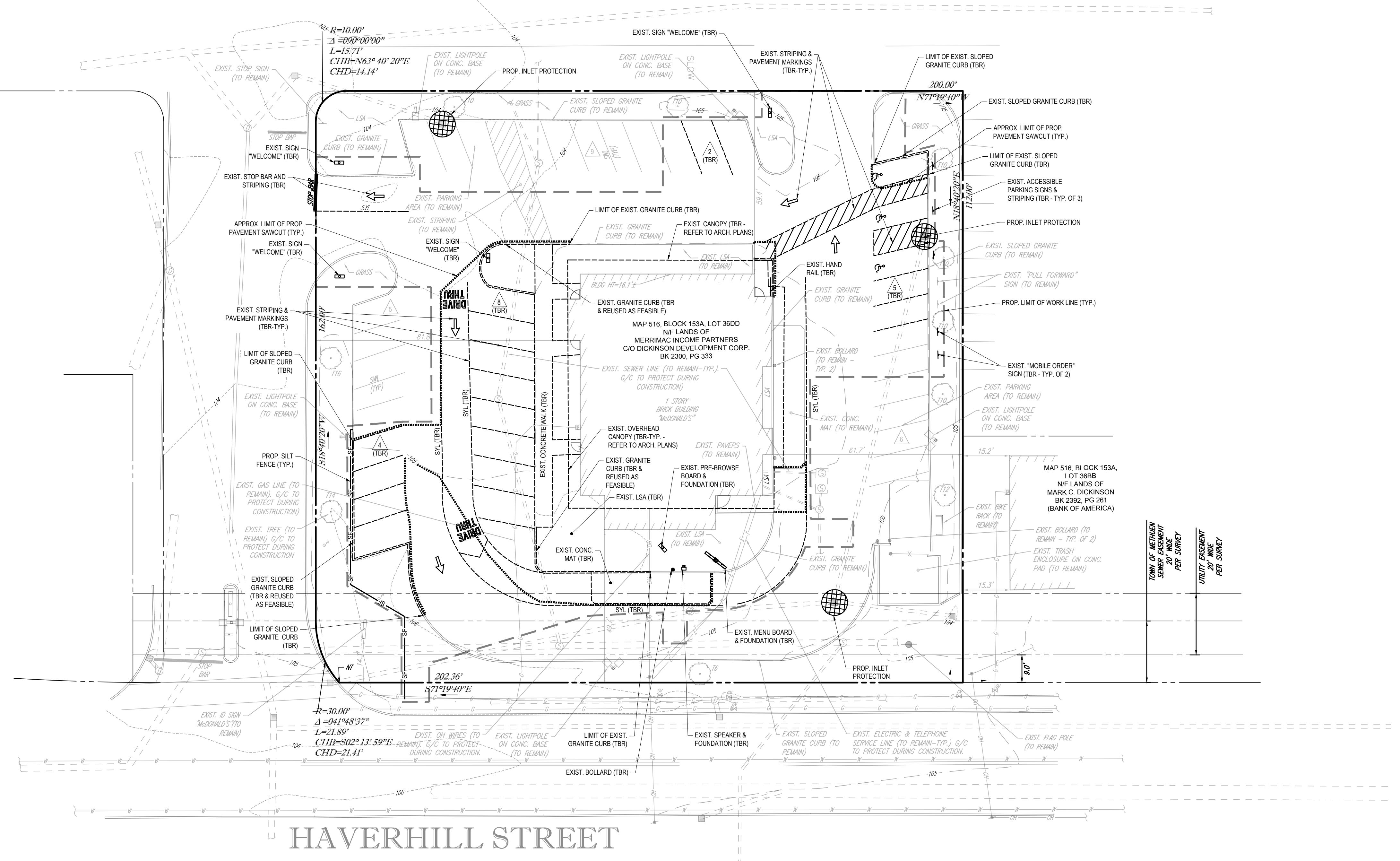
STATUS DATE BY
DRAWN BY: 04/28/22 CSE
PLAN CHECKED 04/28/22 JAK
AS-BUILT
SHEET NO. C-101 OF 7

BOHLER™
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

COMPLIANCE CHECK DATE
CONSTRUCTION CHECK DATE
CONSTRUCTION CHECK DATE
PROJECT No.: W192015
CAD I.D. #: W192015-SPPD-0a.dwg



MAP 516, BLOCK 153A, LOT 36
N/F LANDS OF
MERRIMAC INCOME PARTNERS
BK 2092, PG 291
(SHOPPING PLAZA)



HAVERHILL STREET

(A.K.A. ROUTE 110)
(PUBLIC - 50' WIDE) 
(1941 ESSEX COUNTY LAYOUT)
(AS BUILT ROADWAY)

The logo for 811 features the number '811' in a large, stylized, outlined font. Below the '11' is a shovel pointing upwards, with a small mound of dirt at the end of its handle.

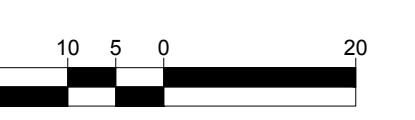
**Know what's below.
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**TRACTOR SHALL CONFIRM ALL
TY & DRAINAGE LOCATIONS
R TO CONSTRUCTION AND
L NOTIFY ENGINEER IN WRITING
Y CONFLICTS OCCUR.**

**REFER TO GENERAL NOTES SHEET FOR
DEMOLITION NOTES**

**THIS PLAN TO BE UTILIZED FOR
DEMOLITION/REMOVAL & SOIL
EROSION/ SEDIMENT CONTROL
PURPOSES ONLY**

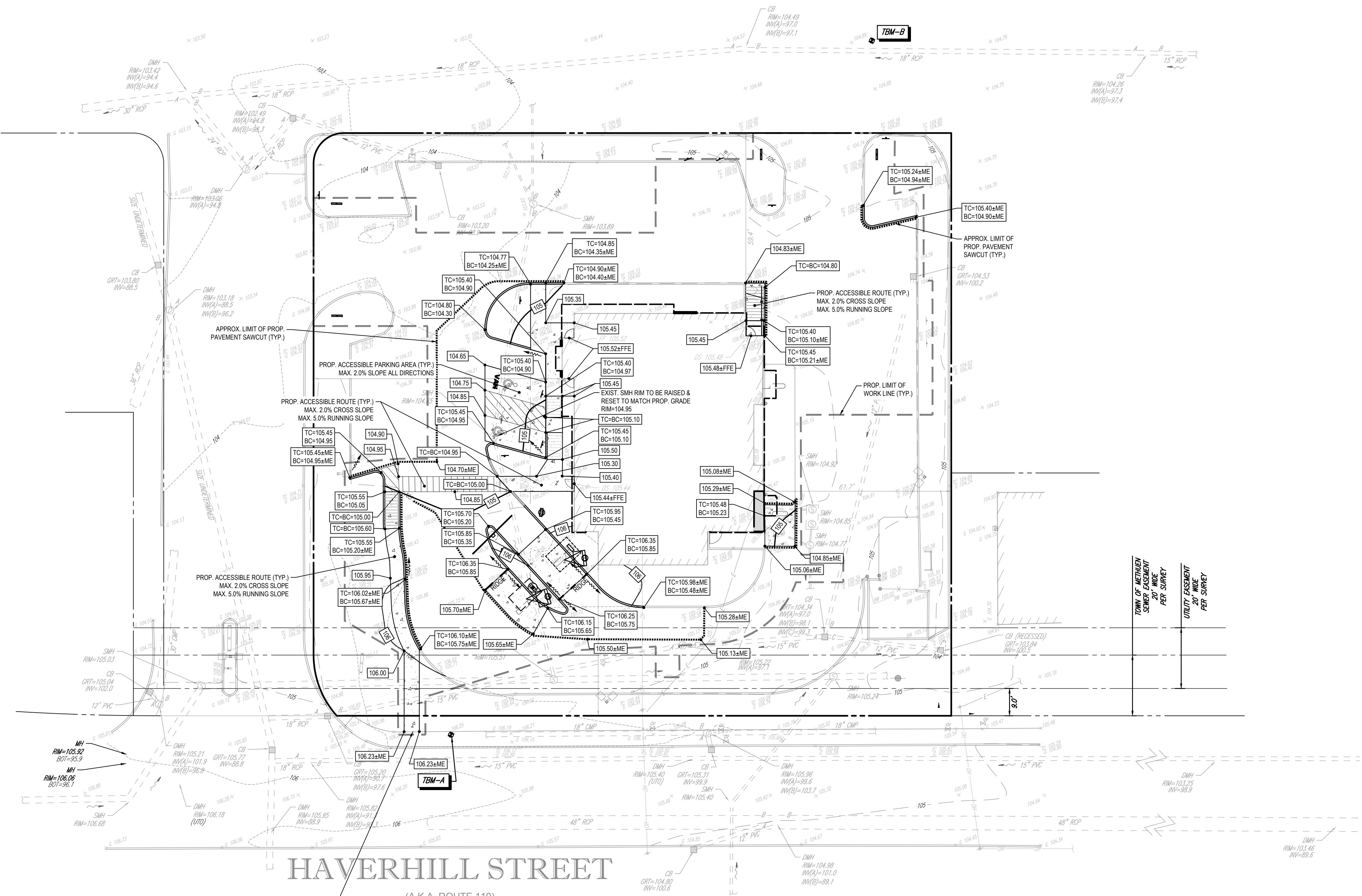


BOHLER //

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

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 <p>BOHLER // TM</p> <p>SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES</p> <p>THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER</p>																				
<table border="1"> <tr> <td>COMPLIANCE CHECK</td> <td>DATE</td> </tr> <tr> <td>CONSTRUCTION CHECK</td> <td>DATE</td> </tr> <tr> <td>CONSTRUCTION CHECK</td> <td>DATE</td> </tr> <tr> <td colspan="2">PROJECT No.:</td> </tr> <tr> <td colspan="2">W192015</td> </tr> <tr> <td colspan="2">CAD I.D. #:</td> </tr> <tr> <td colspan="2">W192015-SPPD-0a.dwg</td> </tr> </table>			COMPLIANCE CHECK	DATE	CONSTRUCTION CHECK	DATE	CONSTRUCTION CHECK	DATE	PROJECT No.:		W192015		CAD I.D. #:		W192015-SPPD-0a.dwg					
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<p>ISSUED FOR PERMIT</p> <p>STREET ADDRESS 170 HAVERHILL STREET</p> <table> <tr> <td>CITY METHUEN</td> <td>STATE MA</td> <td>STATUS</td> </tr> <tr> <td colspan="2">COUNTY ESSEX</td> <td>DATE</td> </tr> <tr> <td colspan="2">AS-BUILT</td> <td>BY</td> </tr> <tr> <td colspan="2">DRAWN BY: 04/28/22</td> <td>CSE</td> </tr> <tr> <td colspan="2">PLAN CHECKED</td> <td>JAK</td> </tr> <tr> <td colspan="2">SHEET NO. C-201</td> <td>OF 7</td> </tr> </table> <p>APPROVED McDONALD</p>			CITY METHUEN	STATE MA	STATUS	COUNTY ESSEX		DATE	AS-BUILT		BY	DRAWN BY: 04/28/22		CSE	PLAN CHECKED		JAK	SHEET NO. C-201		OF 7
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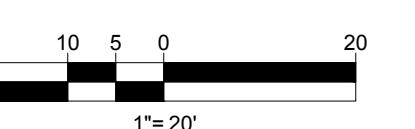
BohlerEngineering.com/Project/CT19W12015/CADD/Drawings/Plan Sets/Civil Site Plans/W192015-SPPD-0a.dwg C-401-Grd.Drain.4/23/2015 10:17:14 AM. cemts. Xero/Grd.1.pz3. User:634.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE
SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN
INDEPENDENTLY VERIFIED BY THE OWNER OR ITS
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FOR ANY AND ALL DAMAGE WHICH MAY BE CAUSED BY
THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND
PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**CONTRACTOR SHALL CONFIRM ALL
UTILITY & DRAINAGE LOCATIONS
PRIOR TO CONSTRUCTION AND SHALL
NOTIFY ENGINEER IN WRITING IF ANY
CONFLICTS OCCUR.**

**5.0' X 5.0' (MIN.) LEVEL LANDING
(<2.0% SLOPE IN ANY DIRECTION)
AREA TO BE PROVIDED AT ALL DOORS
& TOP & BOTTOM OF ALL RAMPS.**

**THIS PLAN TO BE UTILIZED FOR SITE
GRADING PURPOSES ONLY. REFER TO
GENERAL NOTES SHEET
FOR ADDITIONAL GRADING & UTILITY
NOTES**



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AUTHORIZATION FROM BOHLER. ON APPROVAL, THIS DRAWING SHALL BE RELEASED FOR CONSTRUCTION PURPOSES
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ISSUED FOR PERMIT	
STREET ADDRESS 170 HAVERHILL STREET	
STATUS	DATE
DRAWN BY:	04/28/22 CSE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	W192015
CAD I.D. #:	W192015-SPPD-0a.dwg
SITE I.D.	020-0292
PLAN DESCRIPTION	GRADING & DRAINAGE PLAN
SHEET NO.	C-401 OF 7

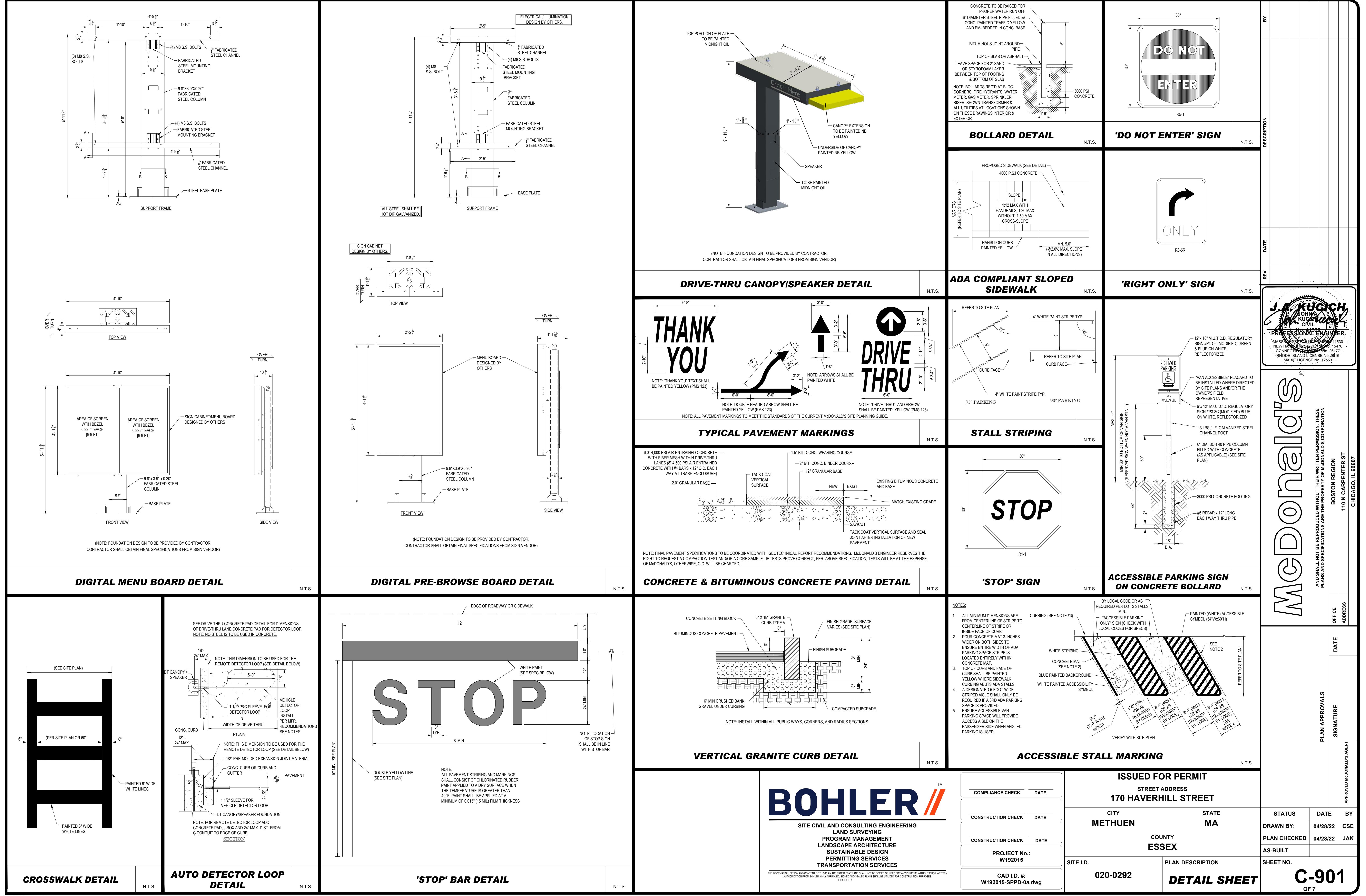
J. A. KUCICH
JOHN A. KUCICH
CIVIL ENGINEER
PROFESSIONAL ENGINEER
MASSACHUSETTS STATE LICENSE #15453
NEW HAMPSHIRE STATE LICENSE #15476
RHODE ISLAND LICENSE #0619
MAINE LICENSE No. 12553

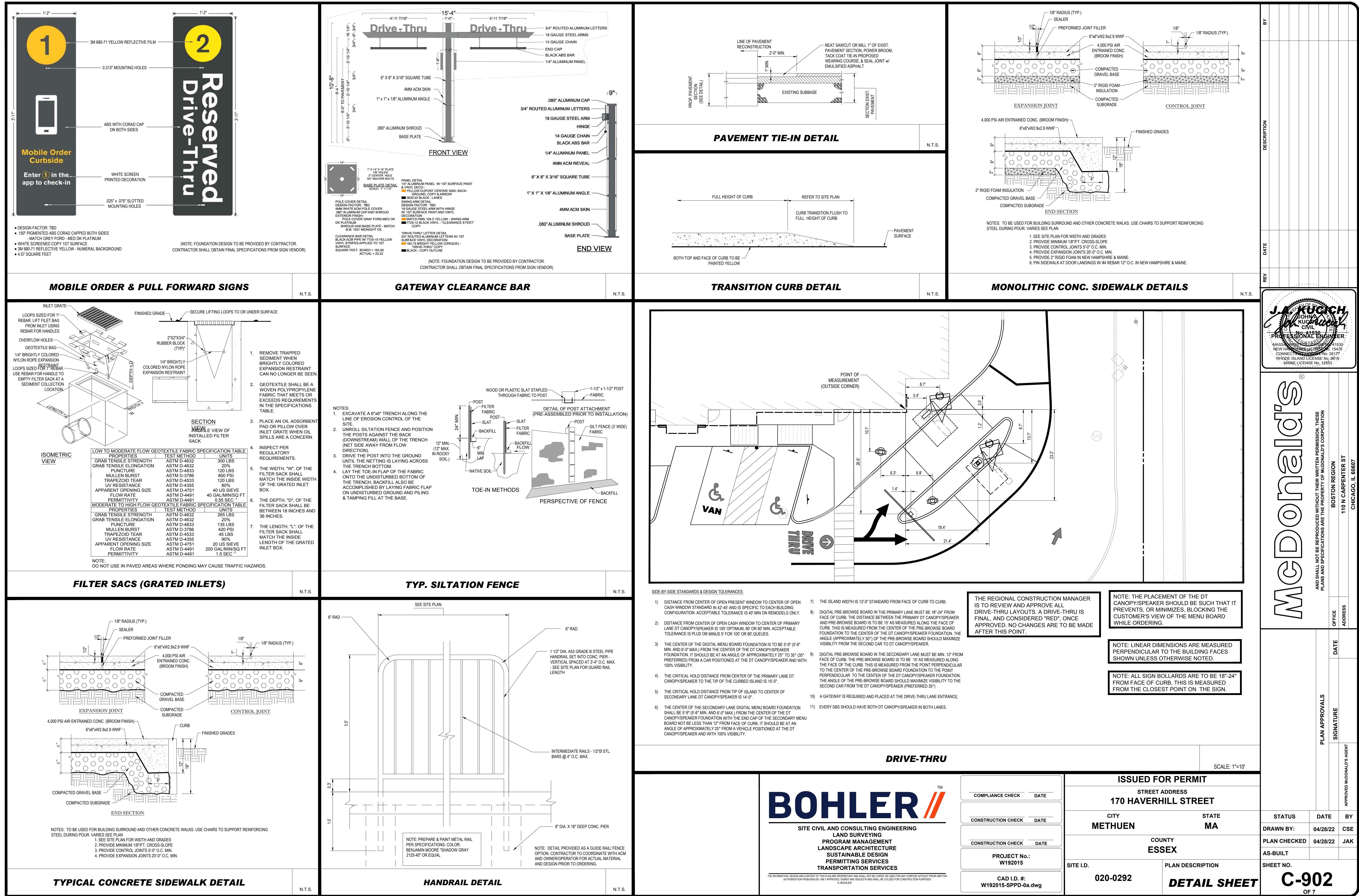
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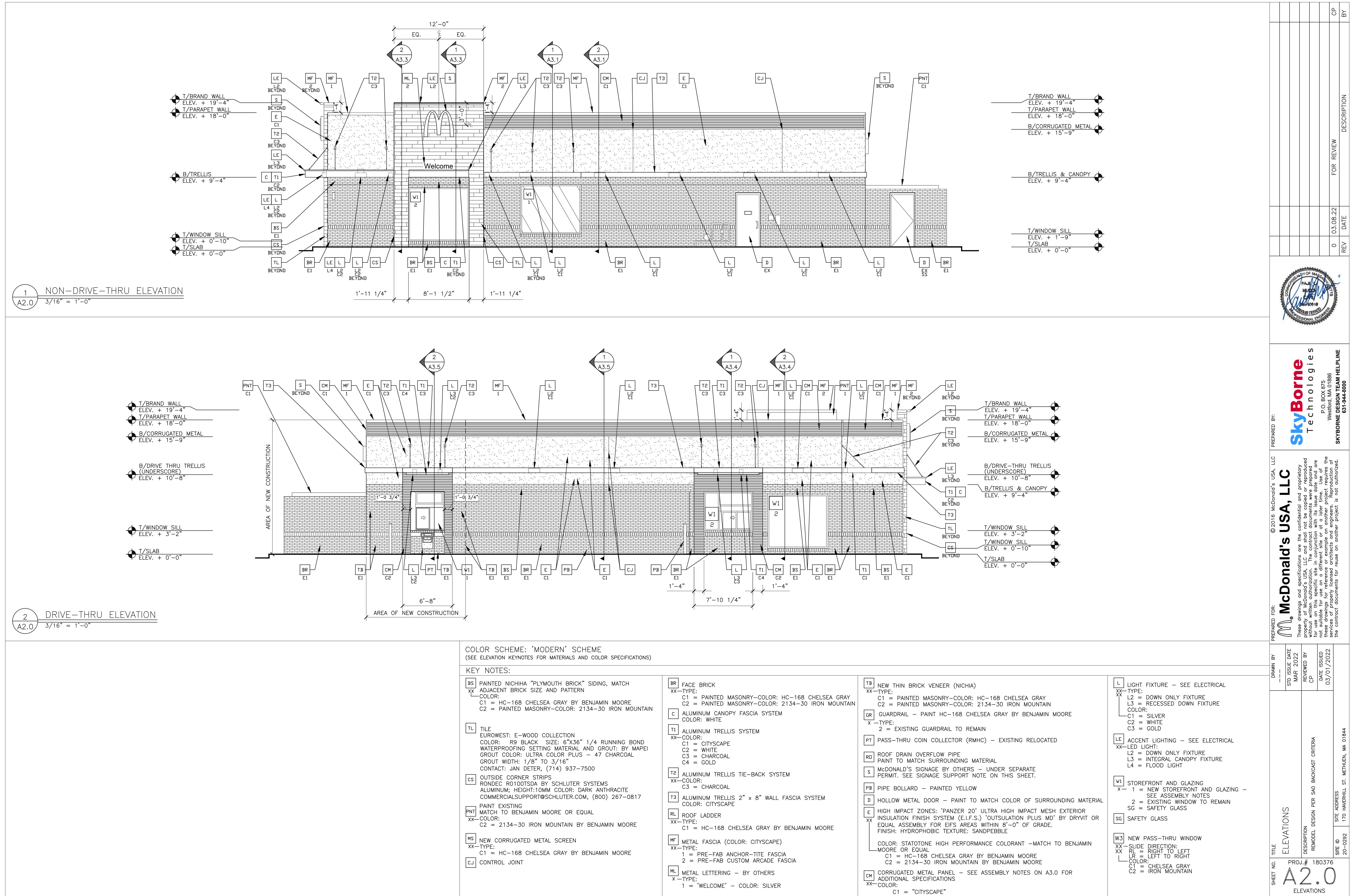
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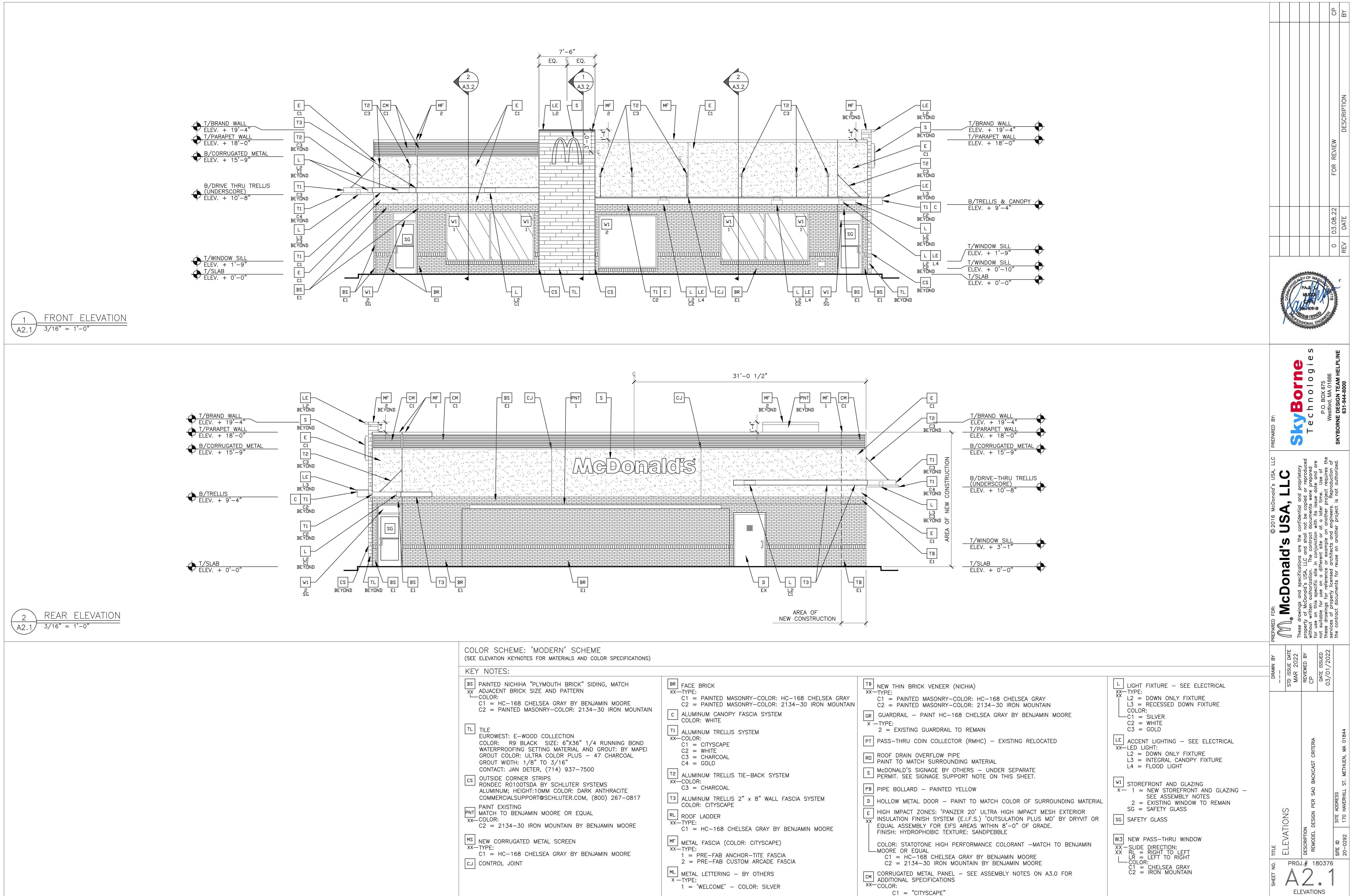
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CHICAGO, IL 60607

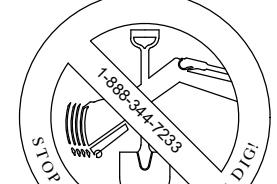






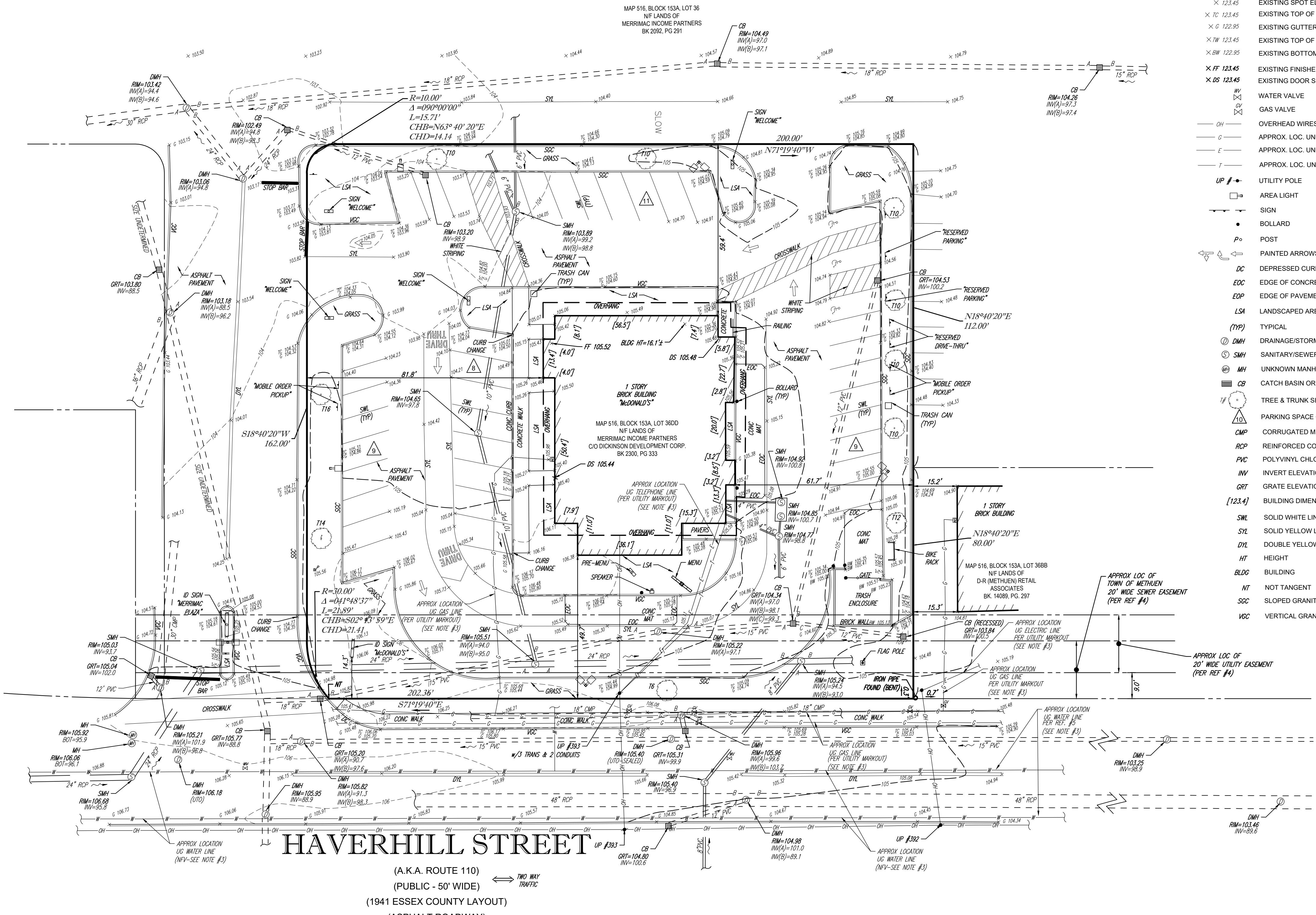


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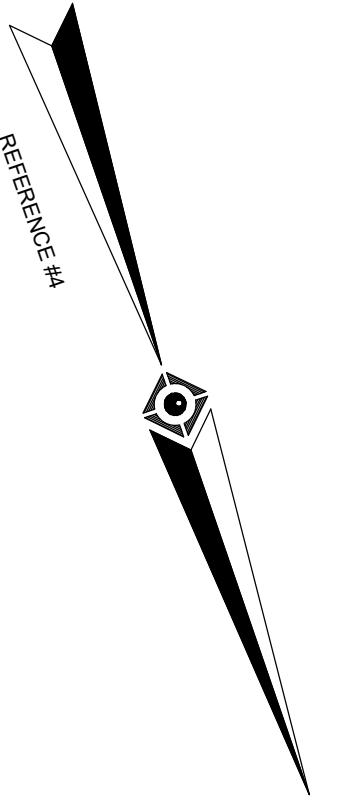


(A.K.A. ROUTE 110) \longleftrightarrow *TWO WAY TRAFFIC*
(PUBLIC - 50' WIDE)
(1941 ESSEX COUNTY LAYOUT)
(ASPHALT ROADWAY)

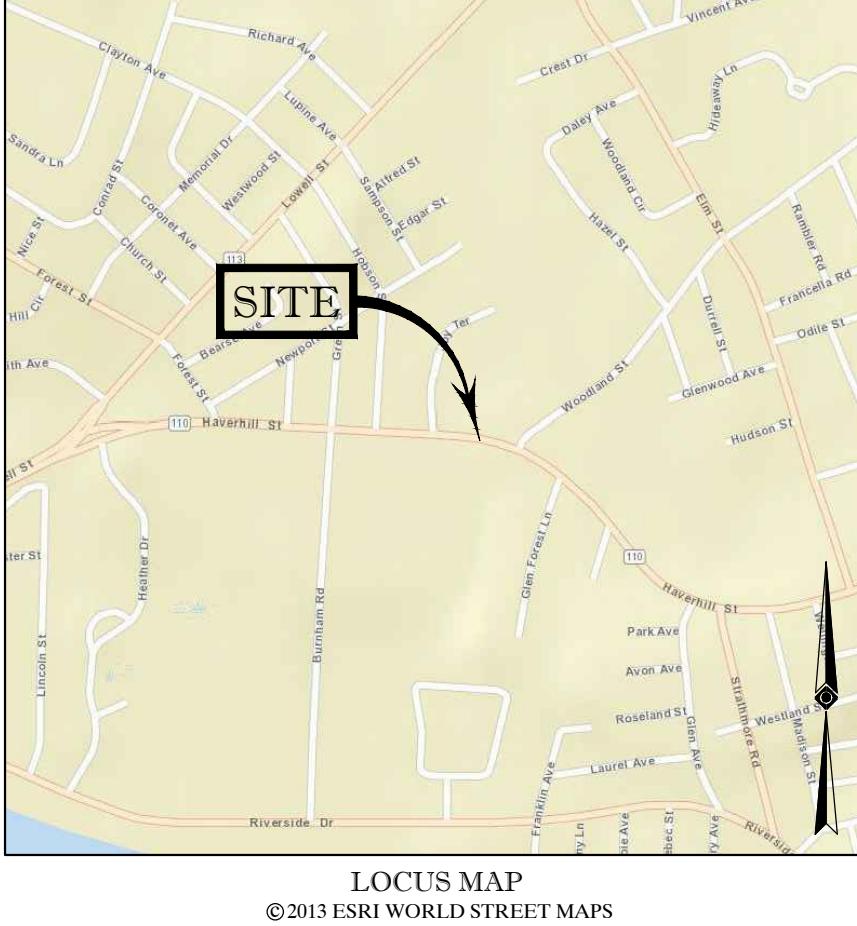
GRAPHIC SCALE

20 0 10 20 40

(IN FEET)
1 inch = 20 ft.



REFERENCE #



LEGEND

— 124 —	EXISTING CONTOUR
X 123.45	EXISTING SPOT ELEVATION
X TC 123.45	EXISTING TOP OF CURB ELEVATION
X G 122.95	EXISTING GUTTER ELEVATION
X TW 123.45	EXISTING TOP OF WALL ELEVATION
X BW 122.95	EXISTING BOTTOM OF WALL ELEVATION
X FF 123.45	EXISTING FINISHED FLOOR ELEVATION
X DS 123.45	EXISTING DOOR SILL ELEVATION
WV ▷◁	WATER VALVE
GV ▷◁	GAS VALVE
— OH ——	OVERHEAD WIRES
— G ——	APPROX. LOC. UNDERGROUND GAS LINE
— E ——	APPROX. LOC. UNDERGROUND ELECTRIC LINE
— T ——	APPROX. LOC. UNDERGROUND TELEPHONE LINE
UP # •	UTILITY POLE
□—	AREA LIGHT
— — —	SIGN
•	BOLLARD
P°	POST
↖ ↘ ↙ ↖	PAINTED ARROWS
DC	DEPRESSED CURB
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
LSA	LANDSCAPED AREA
(TYP)	TYPICAL
① DMH	DRAINAGE/STORM MANHOLE
⑤ SMH	SANITARY/SEWER MANHOLE
⑥ MH	UNKNOWN MANHOLE
█ CB	CATCH BASIN OR INLET
T# 	TREE & TRUNK SIZE
 10	PARKING SPACE COUNT
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
INV	INVERT ELEVATION
GRT	GRATE ELEVATION
[123.4]	BUILDING DIMENSION
SWL	SOLID WHITE LINE
SYL	SOLID YELLOW LINE
DYL	DOUBLE YELLOW LINE
HT	HEIGHT
BLDG	BUILDING
NT	NOT TANGENT
SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB

NOTES

1. PROPERTY KNOWN AS LOT 36DD, BLOCK 153A AS SHOWN ON THE CITY OF METHUEN, ESSEX COUNTY, COMMONWEALTH OF MASSACHUSETTS; MAP NO. 516.
2. AREA = 40,251 SQUARE FEET OR 0.924± ACRES
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMprise ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADEd (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
7. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
9. THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCED MAPS HAVE BEEN SHOWN.
10. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
11. BUILDING DIMENSIONS AT GROUND LEVEL.

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF METHUEN, ESSEX COUNTY, MASSACHUSETTS, SHEET #516.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ESSEX COUNTY, MASSACHUSETTS (ALL JURISDICTIONS) PANEL 204 OF 600," MAP NUMBER 25009C0204F, EFFECTIVE DATE: JULY 3, 2012.
3. MAP ENTITLED "PLAN OF LAND IN METHUEN, MA., PREPARED FOR DICKINSON DEVELOPMENT CORP.," PREPARED BY VANASSE/HANGEN ENGINEERING, INC., DATED DECEMBER 29, 1983, REVISED JANUARY 14, 1985, RECORDED IN THE ESSEX COUNTY REGISTRY OF DEEDS, PLAN NO. 9772.
4. MAP ENTITLED "SITE CONSTRUCTION PLAN, McDONALD'S RESTAURANT, MERRIMACK PLAZA, HAVERHILL STREET, METHUEN, MASSACHUSETTS," PREPARED BY SOMERVILLE ENGINEERING, INC., DATED DECEMBER 8, 1985.
5. MAP ENTITLED "SITE PLAN IN METHUEN, MASS., McDONALD'S CORPORATION," PREPARED BY SOMERVILLE ENGINEERING, INC., DATED DECEMBER 8, 1985.

1	REVISED PER RETURN SITE VISIT	J.S.A.	R.J.K.	G.L.H.	7-26-2021
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN:	APPROVED:	DATE
FIELD DATE 3-20-17 6-24-2021	BOUNDARY & PARTIAL TOPOGRAPHIC SURVEY McDONALD'S USA, LLC 170 HAVERHILL STREET MAP 516, BLOCK 153A, LOT 36DD CITY OF METHUEN ESSEX COUNTY COMMONWEALTH OF MASSACHUSETTS				
FIELD BOOK NO. 17-03MA 21-05 MA	 McDonald's® L/C# 065-864				
FIELD BOOK PG. 60-61 64					
FIELD CREW T.M. J.S.A.	CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX				
DRAWN: J.M.B. R.J.K.	MANHATTAN, NY 646.780.0411 MT. LAUREL, NJ 609.857.2099 CHALFONT, PA 215.712.9800 WARREN, NJ 908.668.0099				
REVIEWED: R.D.N. R.J.K.	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
	G.L.H.	03-20-17	1"=20'	03-170057	1 OF 1