

DATE: _____

DEFINITIVE SUBDIVISION PLAN

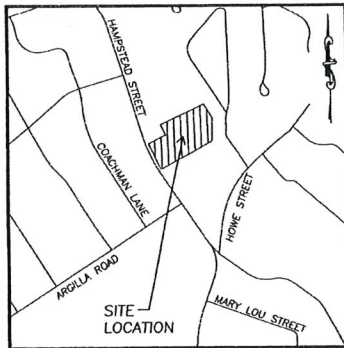
FOR

23 HAMPSTEAD STREET

IN

METHUEN, MA

OCTOBER 2021



LOCUS MAP
SCALE: 1"=600'

PLAN INDEX

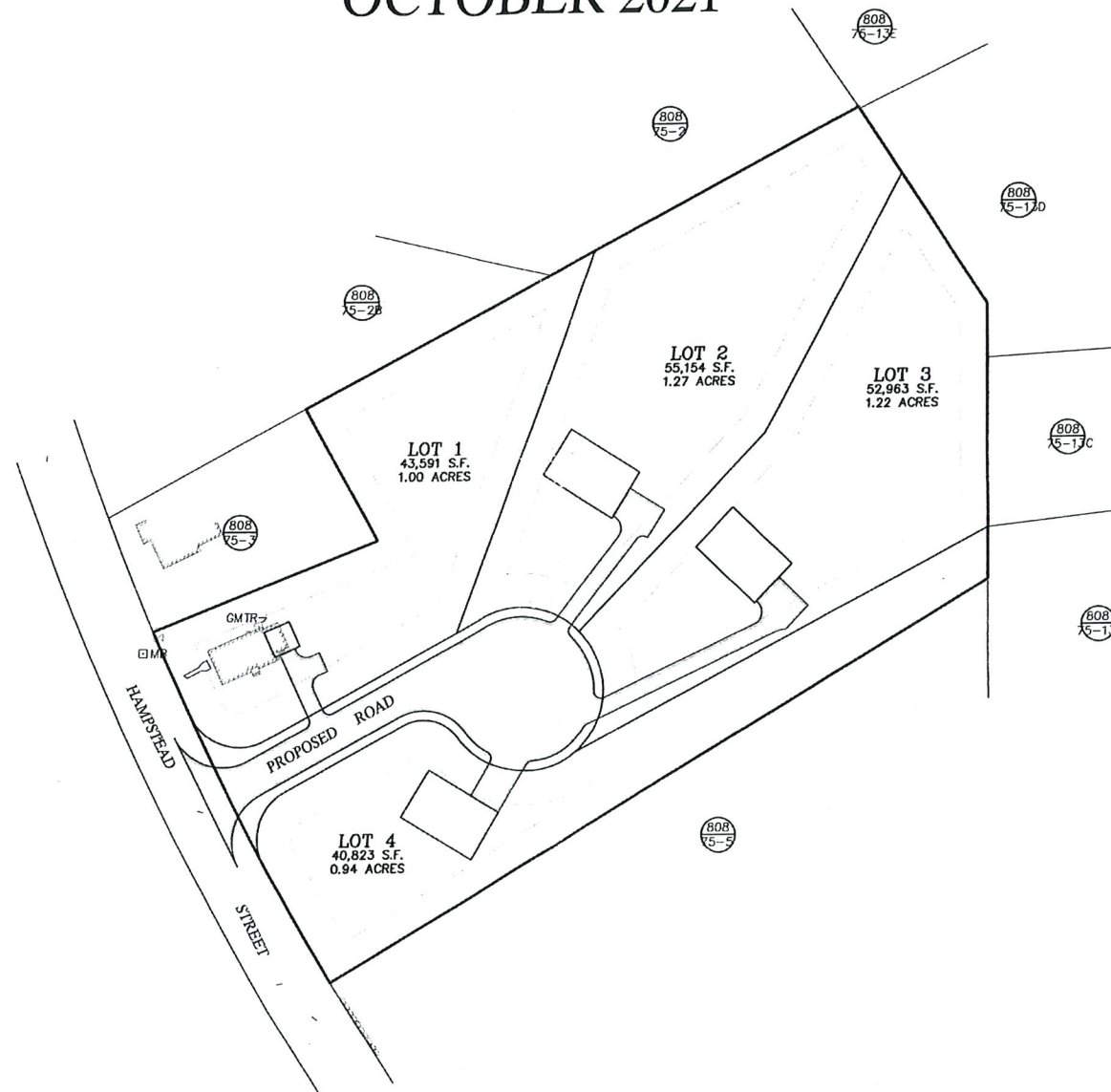
SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	LOT LAYOUT
4	TYPICAL SECTIONS/LEGEND/GENERAL NOTES
5	GRADING AND DRAINAGE PLAN
6	PLAN AND PROFILE
7	EROSION AND SEDIMENTATION PLAN
8-10	CONSTRUCTION DETAILS

RECORD OWNER/APPLICANT:

JR BUILDERS INC.
16 INDUSTRIAL WAY
SALEM, NH

CIVIL ENGINEER:

MILLENNIUM ENGINEERING, INC.
62 ELM STREET
SALISBURY, MA 01952



ZONING DISTRICT - RA

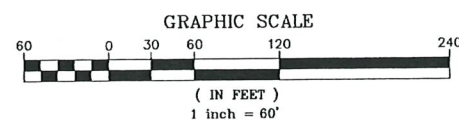
LOT AREA:	40,000 S.F.
LOT FRONTAGE:	100 FEET
LOT WIDTH:	100 FEET
FRONT SETBACK:	25 FEET
SIDE SETBACK:	20 FEET
REAR SETBACK:	20 FEET
BLDG COVERAGE:	25%
LOT COVERAGE:	40%
BUILDING HEIGHT:	35 FEET



WAIVER REQUESTS:

THE FOLLOWING WAIVERS ARE REQUESTED FROM THE CITY OF METHUEN RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND:

- 1) WAIVER FROM SECTION 4.2.2.8 OF THE METHUEN SUBDIVISION REGULATION NOT ALLOWING DEAD END STREETS.
- 2) WAIVER FROM SECTION 5.7.1 OF THE METHUEN SUBDIVISION REGULATIONS REQUIRING SIDEWALKS ON BOTH SIDES OF THE STREET. NO SIDEWALKS ARE PROPOSED.
- 3) WAIVER FROM SECTION 5.6.1 REQUIRING A LOOPED WATER MAIN.
- 4) WAIVER FROM SECTION 5.6.1 REQUIRING AN 8" WATER MAIN. A 6" WATER MAIN IS PROPOSED.



PREPARED FOR

JR BUILDERS, INC.
16 INDUSTRIAL WAY
SALEM, NH 03079

NO.	DATE	DESCRIPTION	BY



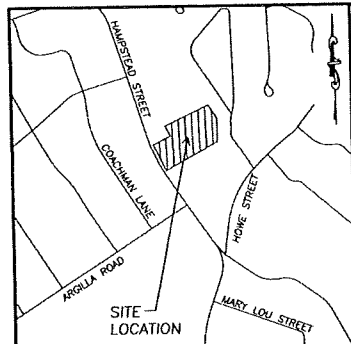
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=60'	CALC. BY: S.R.C.	PROJECT: M213934
DATE: OCT. 5, 2021	CHKD. BY: J.T.M.	

DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

COVER
SHEET

SHEET: 1 OF 10

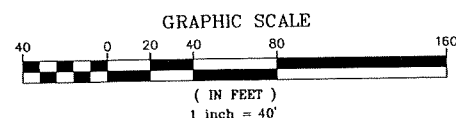


LOCUS MAP
SCALE: 1"=800'

ZONING DISTRICT - RA
RESIDENTIAL - AGRICULTURAL
MINIMUM LOT AREA - 40,000 S.F.
MINIMUM FRONTAGE - 100'
MINIMUM LOT WIDTH - 100'
REQUIRED SETBACKS
FRONT 25'
SIDE 20'
REAR 20'

LEGEND

- ESSEX COUNTY BOUND
- STONE BOUND
- D.H. DRILL HOLE
- MASONRY NAIL
- IRON PIPE
- IRON ROD
- FOUND
- NOW OR FORMERLY
- UP/OLT
- DRAINAGE
- WATER
- SEWER
- GAS
- OVERHEAD WIRE
- CATCH BASIN
- CE
- DM
- SMH
- DRAIN MANHOLE
- SEWER MANHOLE
- HYDRANT
- GAS VALVE
- GAS SHUT OFF
- WATER SHUT OFF
- WATER VALVE
- ASSESSORS MAP#
- PARCEL#



PREPARED FOR
JR BUILDERS
599 CANAL STREET
LAWRENCE, MA 01830



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SAUSBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40' CALC. BY: P.D.B.
DATE: OCT. 5, 2021 CHKD. BY: J.S.H. PROJECT: M213934

DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

EXISTING
CONDITIONS

SHEET: 2 OF 10

FOR REGISTRY USE

METHUEN COMMUNITY DEVELOPMENT BOARD

DATE:

BASIS OF BEARINGS
MASS STATE PLANE COORDINATE SYSTEM
NAD-83

OWNER OF RECORD

JR BUILDERS INC.
BK. 17057 PG. 201

PLAN REFERENCES

PLAN #7840
PLAN #4361
PLAN #13744
PLAN #15516
PLAN #18064
ESSEX COUNTY LAYOUT #2504

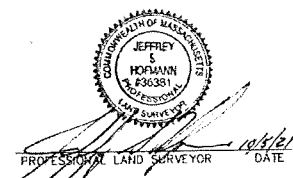
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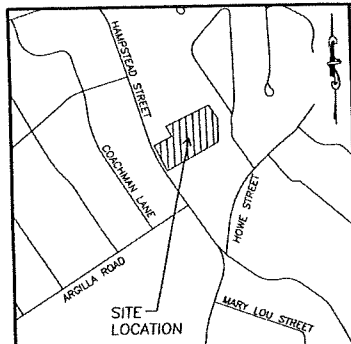
THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

THE CERTIFICATIONS SHOWN HEREON ARE NOT INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT CITY OF HAVERTHILL ASSESSORS RECORDS.

I CERTIFY THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN JUNE 11, 2021, AND JULY 22, 2021, AND THAT THE STRUCTURES AND PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.

THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.



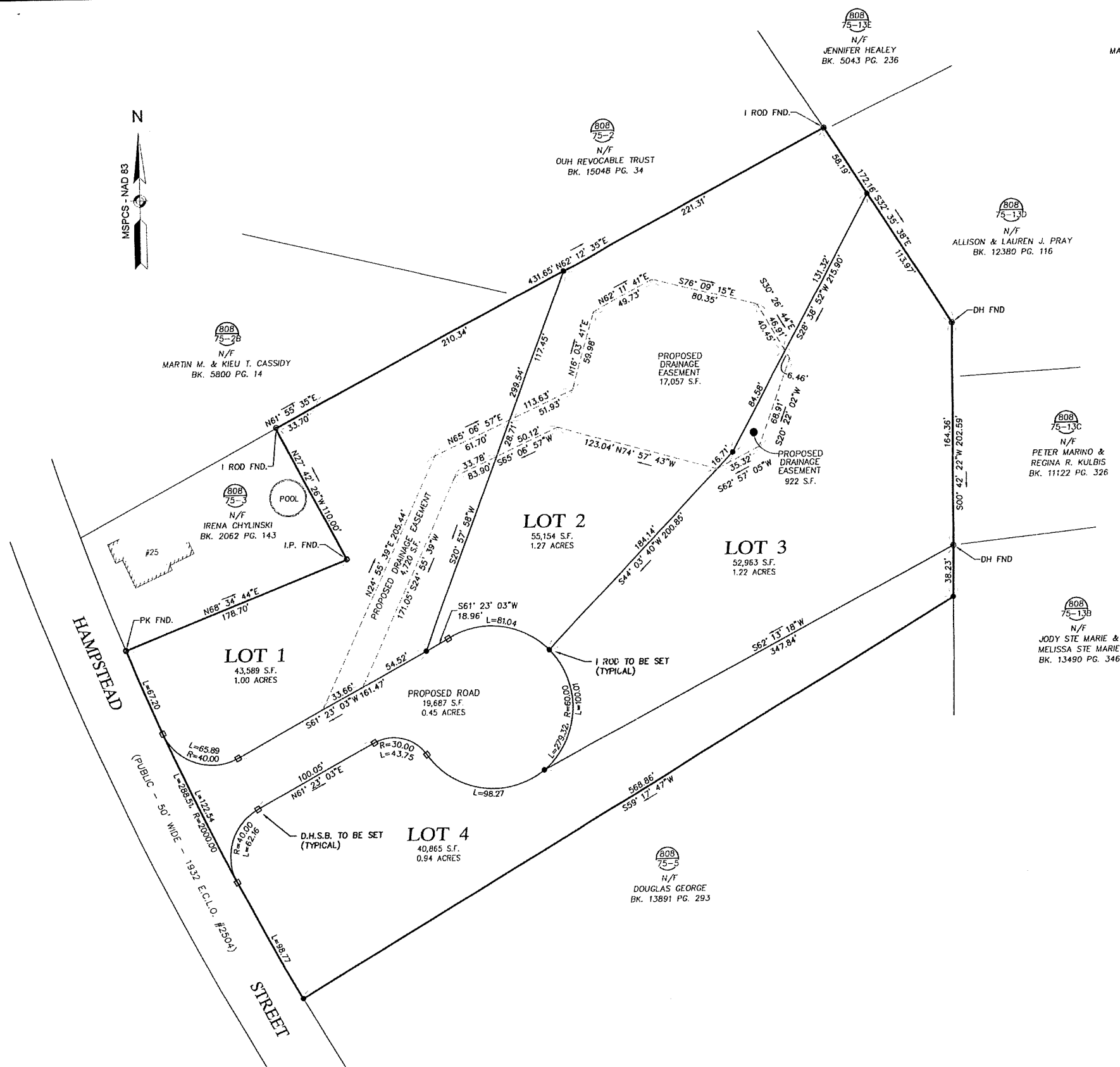


LOCUS MAP
SCALE: 1"=800'

ZONING DISTRICT - RA
RESIDENTIAL - AGRICULTURAL

MINIMUM LOT AREA - 40,000 S.F.
MINIMUM FRONTAGE - 100'
MINIMUM LOT WIDTH - 100'

REQUIRED SETBACKS
FRONT 25'
SIDE 20'
REAR 20'



BASIS OF BEARINGS
MASS STATE PLANE COORDINATE SYSTEM
NAD-83
OWNER OF RECORD
JR BUILDERS INC.
BK. 17057 PG. 201
PLAN REFERENCES
PLAN #7840
PLAN #4361
PLAN #13744
PLAN #15516
PLAN #18064
ESSEX COUNTY LAYOUT #2504

FOR REGISTRY USE

METHUEN COMMUNITY DEVELOPMENT BOARD

DATE: _____

NOTES:
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I CERTIFY: THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN JUNE 11, 2021, AND JULY 22, 2021, AND THAT THE STRUCTURES AND PHYSICAL FEATURES ARE LOCATED AS SHOWN TO THE BEST OF MY ABILITY AND BELIEF.

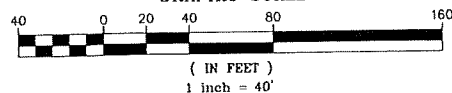
THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.



LEGEND

- D.H.S.B. DRILL HOLE STONE BOUND TO BE SET
- I ROD IRON ROD TO BE SET
- D.H. DRILL HOLE
- I.P. IRON PIPE
- I ROD IRON ROD
- FND FOUND
- N/F NOW OR FORMERLY
- ASSESSORS MAP#
- PARCEL#

GRAPHIC SCALE



PREPARED FOR

JR BUILDERS, INC.
16 INDUSTRIAL WAY
SALEM, NH 03079



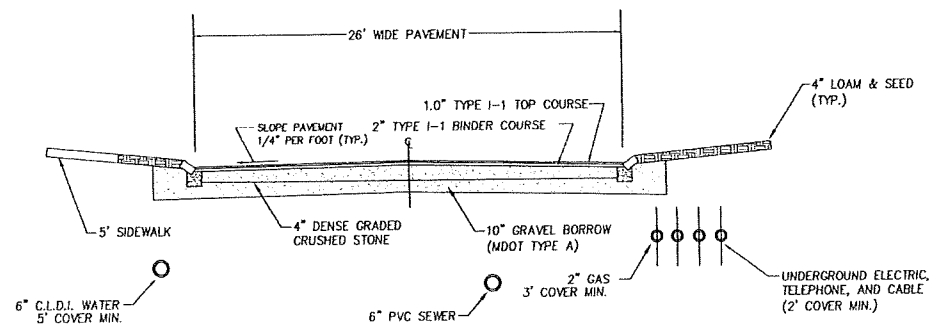
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSHIRE ST

LOT LAYOUT

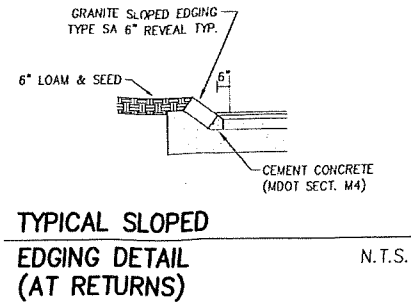
SHEET: 3 OF 10

NO.	DATE	DESCRIPTION	BY
	OCT. 5, 2021	SCALE: 1"=40'	CALC. BY: P.D.B.
		CHKD. BY: J.S.H.	PROJECT: M213934



ROADWAY CROSS-SECTION (TYPICAL)

N.T.S.

TYPICAL SLOPED
EDGING DETAIL
(AT RETURNS)

N.T.S.

LEGEND	
EXISTING	PROPOSED
	CB CATCH BASIN (OR GUTTER INLET, OR LEACHING BASIN)
	CBCI (OR GIC) CATCH BASIN (OR GUTTER INLET) WITH CURB INLET CURB (OR BERM) - TYPE NOTED
	162 EDGE OF ROAD
	162 CONTOUR
	S SEWER MANHOLE
	D DRAINAGE MANHOLE
	G GAS GATE
	W WATER GATE
	H HYDRANT
	FA FIRE ALARM BOX
	P POST MOUNTED PEDESTRIAN LIGHT
	U UTILITY POLE
	D DRAIN PIPE
	S SEWER MAIN
	FM SEWER FORCE MAIN
	UD UNDERDRAIN
	W WATER MAIN
	E/T ELECTRIC/TELEPHONE DUCT
	MB MAIL BOX
	H HIGHWAY GUARD (TYPE NOTED)
	F FENCE (SIZE AND TYPE NOTED)
	E EASEMENT LINE
	P PROPERTY LINE
	100 100 FT BUFFER ZONE
	TP TEST PIT
	SF SILTATION BARRIER/LIMIT OF WORK
	W WETLAND

SURVEY

	WETLAND DELINEATION FLAG
	CONCRETE BOUND
	STONE BOUND
	DRILL HOLE
	MASONRY NAIL
	IRON PIPE
	IRON ROD
	FOUND
	NOT FOUND
	ASSESSORS MAP AND PARCEL

PAVEMENT NOTES:

FINISH COURSE:	1" BIT. CONC. TOP COURSE TYPE I-1
BINDER COURSE:	2" BIT. CONC. BASE COURSE TYPE I-1
GRAVEL BASE:	4" PROCESSED GRAVEL (MDOT M1.03.1) OVER 10" OF GRAVEL BORROW (MDOT M1.03.0 TYPE B)

ROADWAY NOTES

- ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
- ROADWAY SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
- GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
- THE MINIMUM SLOPE FROM THE CROWN OF FINISHED BASE COURSE SHALL BE 1/4" PER FOOT UNLESS OTHERWISE SHOWN.
- ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
- AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE ROADWAY WILL EFFECTIVELY BE DRAINED.
- THE CONTRACTOR SHALL REFER TO THE CITY OF METHUEN SUBDIVISION RULES AND REGULATIONS.

MATERIAL NOTES

ALL MATERIALS AND CONSTRUCTION METHODS OF ALL THE ELEMENTS IN THE SUBDIVISION MUST CONFORM TO THE FOLLOWING STANDARDS, UNLESS OTHERWISE SHOWN AND APPROVED:

- AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
- AMERICAN WATER WORKS ASSOCIATION (AWWA)
- COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
- 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
- SPECIFICATIONS BY THE CITY OF METHUEN AS SET FORTH BY SECTIONS 1 - 6 IN THE SUBDIVISION RULES AND REGULATIONS, (LATEST EDITION)

GENERAL NOTES

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
- THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
- ALL WORK SHALL CONFORM TO: THE METHUEN SUBDIVISION RULES AND REGULATIONS, THE CITY OF METHUEN CONSTRUCTION STANDARDS AND DETAILS, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE METHUEN CONSERVATION COMMISSION, NPDES CONSTRUCTION GENERAL PERMIT, AND THESE PLANS.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
- THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER PRIOR TO CUTTING OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
- IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTORS EXPENSE.
- AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
- ALL SEWER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM PROPOSED WATER MAINS AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
- WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS: A) SEWER MAIN SHALL BE SCHEDULE 80 FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF WATER MAIN, B) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; C) WATER MAIN SHALL BE CONCRETE ENCASED IF THE VERTICAL SEPARATION IS LESS THAN 1.5 FEET.
- INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE RIGHT-OF-WAY. THE HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF THE 2" HDPE LOW PRESSURE FORCEMAIN.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
- 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE ROAD AGENT AND/OR THE CITY OF METHUEN PLANNING BOARD.
- TWO HARD COPIES OF AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE ROAD AGENT AND/OR THE CITY OF METHUEN PLANNING BOARD UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
- ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
- ELEVATIONS ARE BASED UPON 1988 NAVD DATUM.



PREPARED FOR

JR BUILDERS, INC.
16 INDUSTRIAL WAY
SALEM, NH 03079



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ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

DEFINITIVE SUBDIVISION PLAN

IN
METHUEN, MA
AT
23 HAMPSTEAD ST

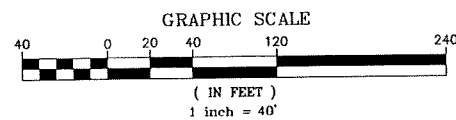
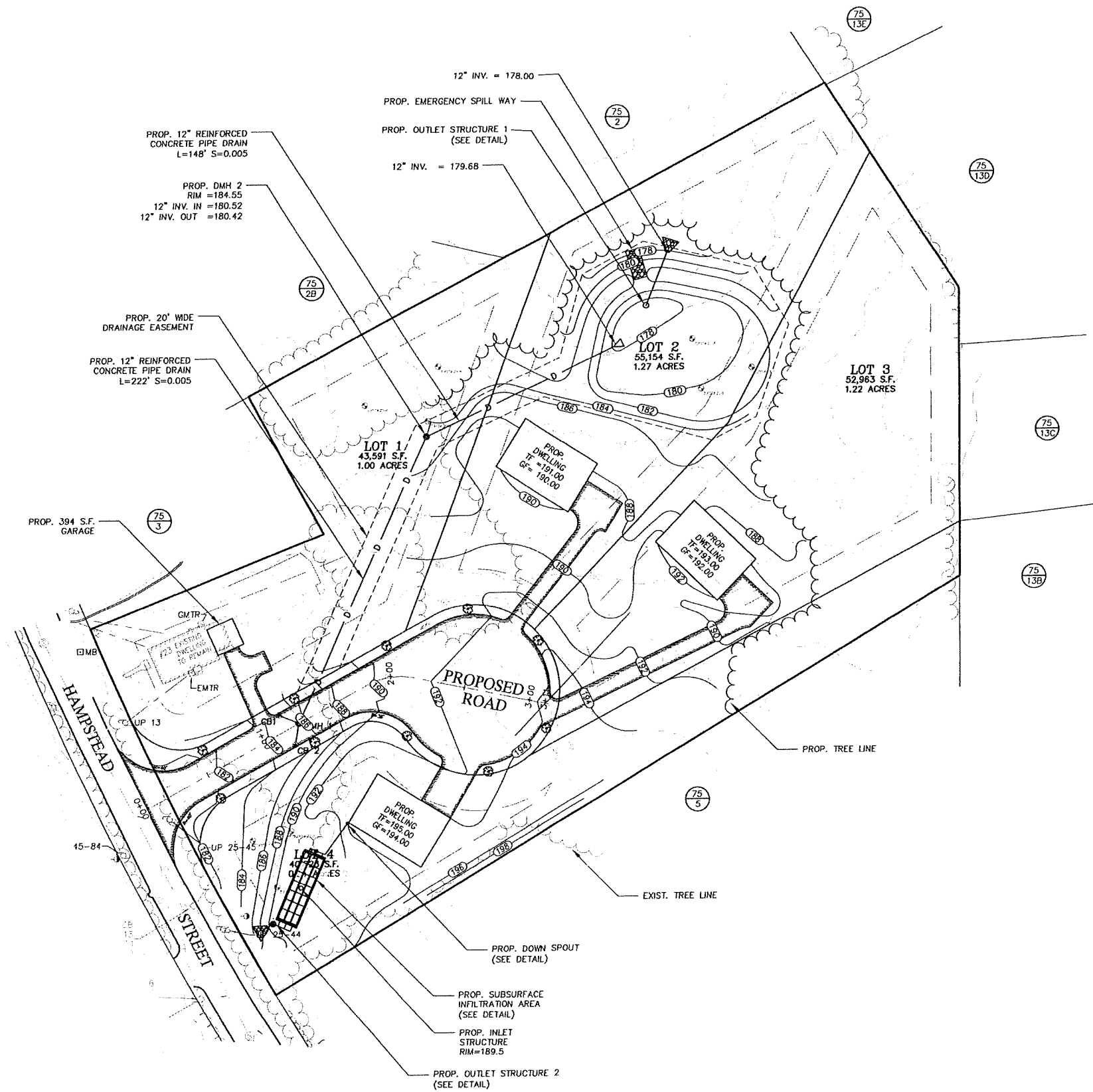
TYPICAL
SECTIONS
&
GENERAL
NOTES

SHEET: 4 OF 10

NO.	DATE	DESCRIPTION	BY
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SCALE: AS NOTED	CALC. BY: S.R.C.	PROJECT: M213934
DATE: OCT. 5, 2021	CHKD. BY: J.T.M.	

DATE: _____



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JR BUILDERS, INC.
16 INDUSTRIAL WAY
SALEM, NH 03079

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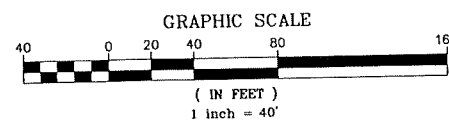
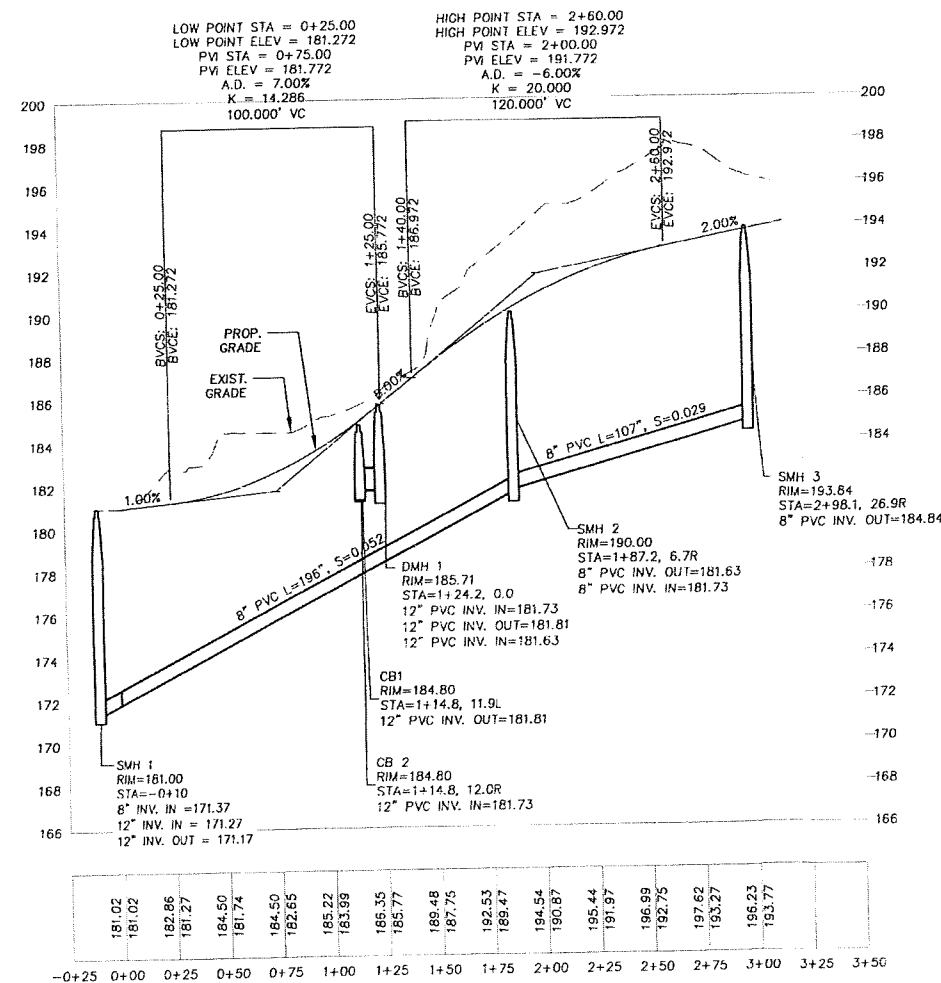
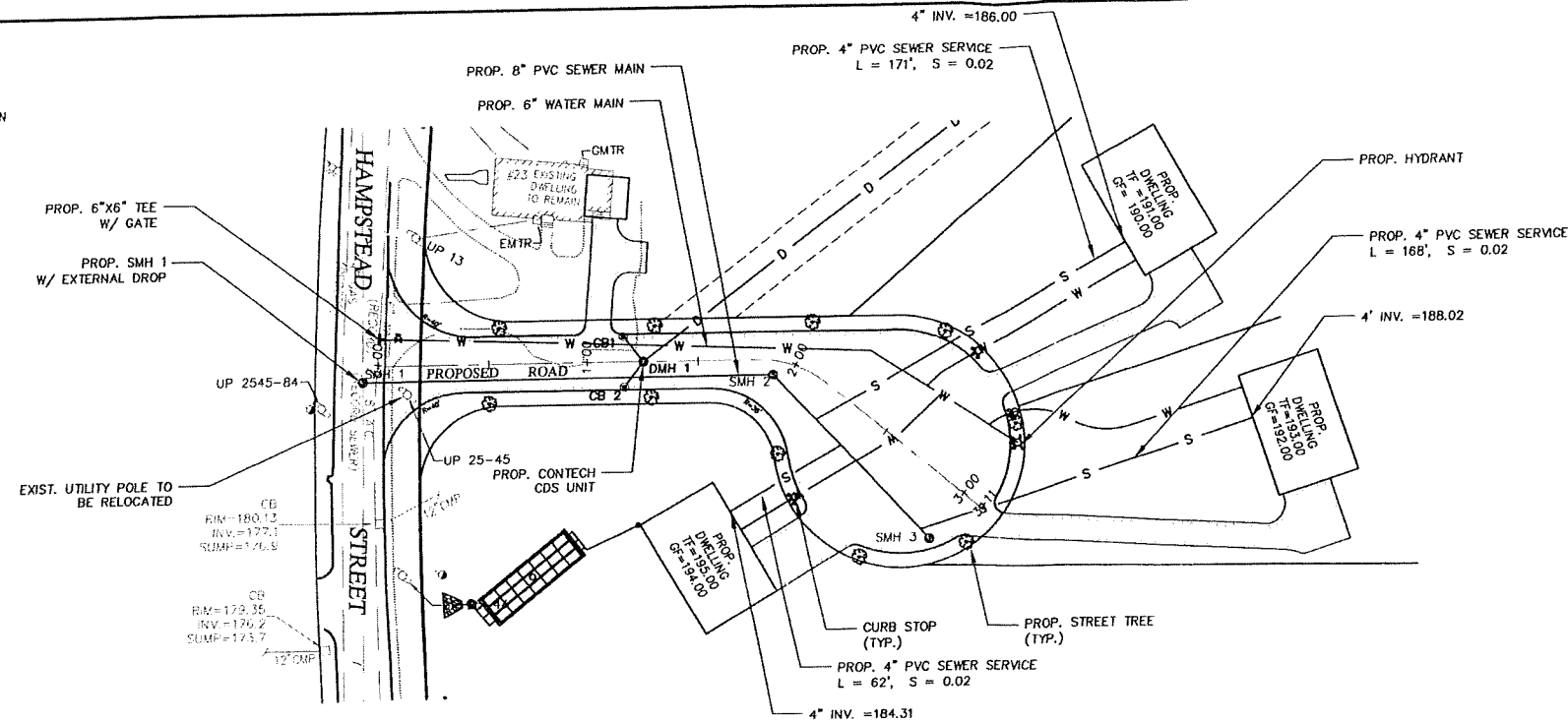
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DEFINITIVE SUBDIVISION PLAN
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AT
23 HAMPSTEAD ST

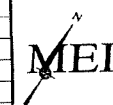
GRADING
AND
DRAINAGE
PLAN
SHEET: 5 OF 10

NOTES:

1. WATER AND SEWER FOR EXISTING DWELLING TO REMAIN



PREPARED FOR
JR BUILDERS, INC.
16 INDUSTRIAL WAY
SALEM, NH 03079



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DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSHAD ST

PLAN
&
PROFILE

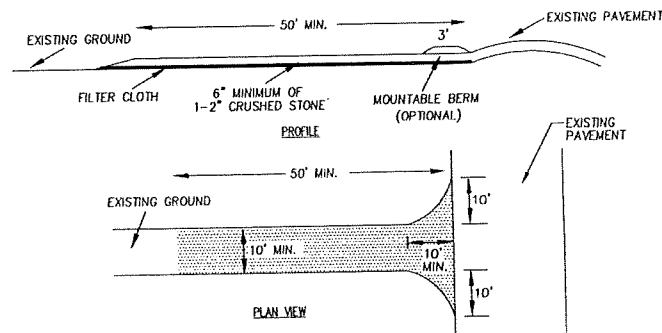
SHEET: 6 OF 10

NO.	DATE	DESCRIPTION	BY

SCALE: 1"=40'
DATE: OCT. 5, 2021
CALC. BY: S.R.C.
CHKD. BY: J.T.M.
PROJECT: M213934

METHUEN COMMUNITY DEVELOPMENT BOARD

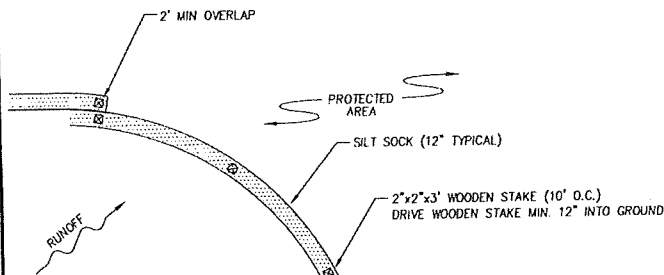
DATE: _____



**CONSTRUCTION ENTRANCE
DETAIL**

N.T.S.

- NOTES**
1. STONE SHALL BE 1-1/2"-2" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
 2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
 3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6".
 4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
 5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
 7. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

**NOTES**

1. ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
2. SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
4. SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
6. SILT SOCK SHALL BE INSPECTED DAILY BY THE GENERAL CONTRACTOR.

**SILT SOCK
INSTALLATION**

N.T.S.

**GENERAL EROSION
CONTROL NOTES**

1. ALL SILT FENCE SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. SILT FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
5. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
6. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
8. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE MERRIMAC PLANNING BOARD AND CONSERVATION COMMISSION.
9. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
10. THE CONTRACTOR SHALL IDENTIFY TO THE TOWN HIS/HER TOPSOIL STOCKPILING OPERATIONS AND LOCATIONS.
11. PROVIDE GRAVEL AND WIRE MESH SEDIMENT FILTER AT ALL CATCH BASINS.
12. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
13. SEED MIX SHALL BE NO LESS THAN 4 LBS./1000 S.F. OF LAND AREA. SEED SHALL CONSIST OF A MAXIMUM OF 10% RYE GRASS AND A MINIMUM OF 90% PERMANENT BLUEGRASS AND/OR FESCUE.
14. LOAM SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
15. NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
16. WHERE PLACEMENT OF FILL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
17. SILT SOCKS SHALL BE INSTALLED IN ALL PROPOSED CATCH BASINS AND IN DOWNSTREAM CATCH BASINS IN BOSTON ROAD AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.

PROP. CONSTRUCTION
ENTRANCE
(SEE DETAIL)

PROP. CHECK DAM
(TYP.)

PROP. CATCH BASIN
INLET PROTECTION
(SEE DETAIL)

GMTR-7

EMR

CUP 13

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25-44

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PREPARED FOR

JR BUILDERS, INC.
16 INDUSTRIAL WAY
SALEM, NH 03079



10-5-21



MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM. ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: 1"=40'

CALC. BY: S.R.C.

PROJECT: M213934

DATE: OCT. 5, 2021

CHKD. BY: J.T.M.

DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPTON ST

**EROSION
AND
SEDIMENTATION
CONTROL
PLAN**

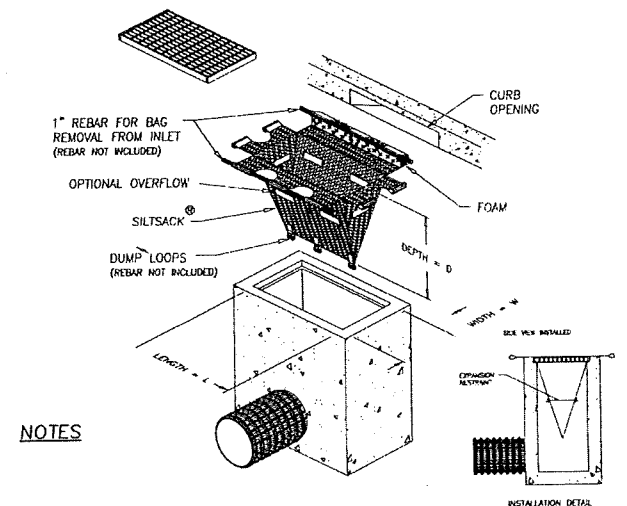
SHEET: 7 OF 10

NOTES

1. TO INSTALL SILT SACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILT SACK IS FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILT SACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILT SACK.
4. TO EMPTY SILT SACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILT SACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILT SACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
5. SILT SACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILT SACK FROM THE BASIN AND CLEAN. SILT SACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

**SILT SACK
DETAIL**

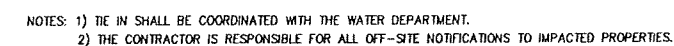
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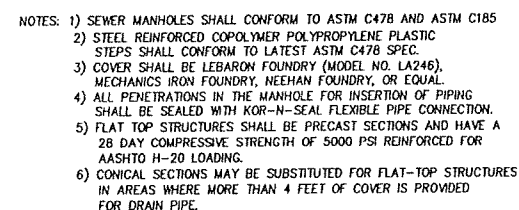


1. SERVICE CONNECTIONS FOR THE VARIOUS LOTS SHALL BE SIZED TO MEET THE REQUIREMENTS OF THE SPECIFIED USE. CONNECTIONS TO THE PROJECT WATER MAIN SHALL BE MADE WITH TAPPING SLEEVES AND VALVES.

N.T.S



N.T.S.



N.T.S.



NOTES

1. VALUES SHOWN ARE FOR TEST PRESSURE OF 150 PSI WITH A 100 PSI SURGE ALLOWANCE.
2. THRUST BLOCKS SHALL NOT BE PLACED AGAINST THE FOLLOWING SOILS: PEAT, ORGANIC SILT AND ORGANIC SOILS, SOFT CLAY, RUBBISH FILL AND OTHER UNSUITABLE ARTIFICIAL FILL, SHATTERED SHALE, INORGANIC SILT AND VERY FINE SANDS.
3. POURED CONCRETE THRUST BLOCKS SHALL NOT COVER ANY JOINTS, CLAMPS, NUTS, BOLTS, ETC.

ALL NOT
N.T.



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SCALE: AS NOTED

<p> CALC. BY: S.R.C. </p>

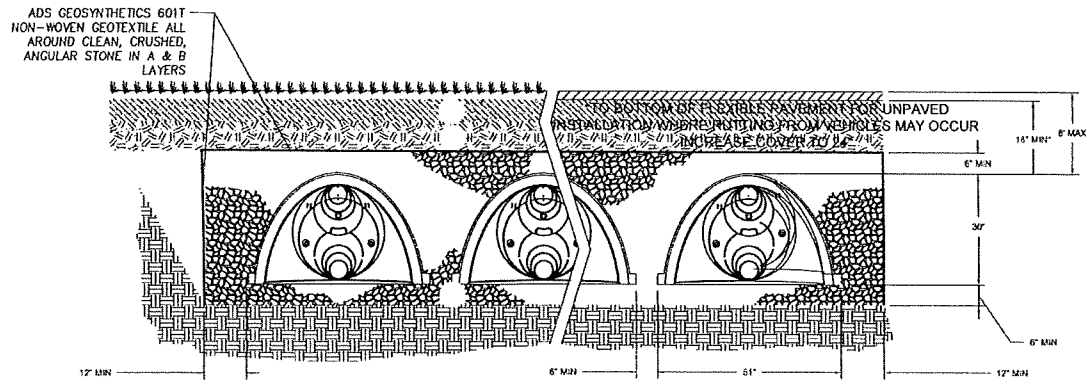
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DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

CONSTRUCTION DETAILS I

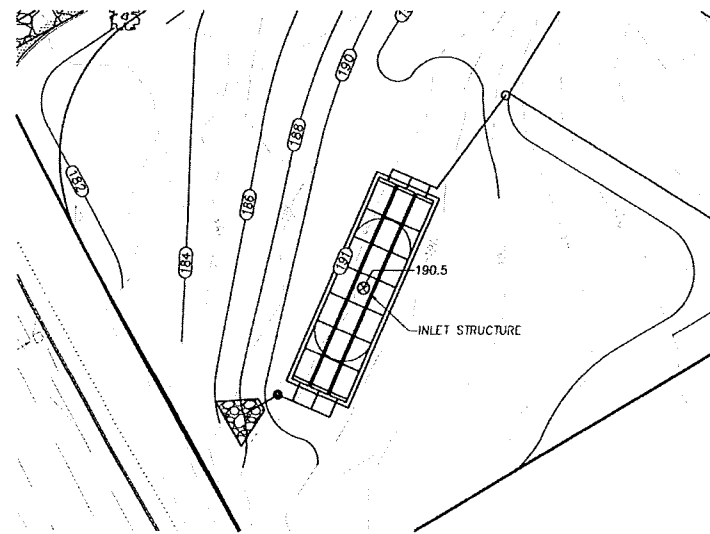
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DATE: _____

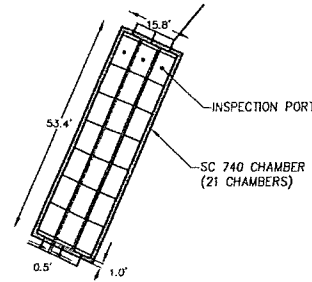


SUBSURFACE AREA	BOT. STONE ELEV.	BOT. CHAMBER ELEV.	TOP CHAMBER ELEV.	TOP STONE ELEV.	100 YEAR STORM
ROOF DRYWELL	182.50	183.00	186.50	187.00	185.59

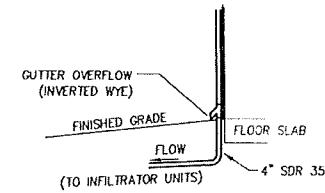
SUBSURFACE INFILTRATION AREA
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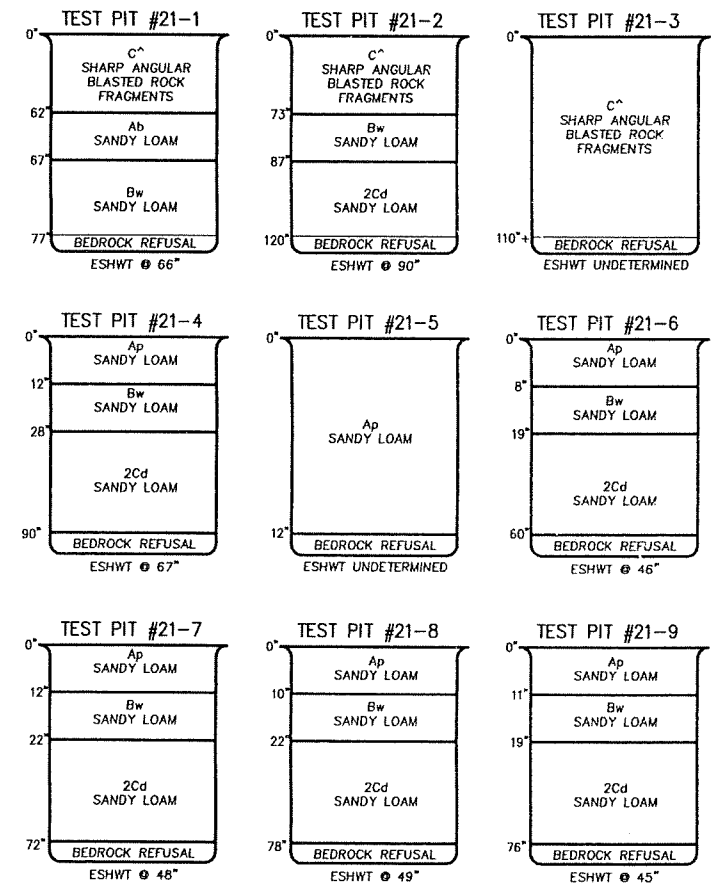
SUBSURFACE INFILTRATION AREA
GRADING DETAIL
N.T.S.



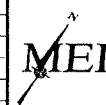
SUBSURFACE INFILTRATION AREA
DETAIL
N.T.S.



GUTTER DOWN SPOUT DETAIL
N.T.S.



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DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

CONSTRUCTION
DETAILS III

SCALE: AS NOTED
DATE: OCT. 5, 2021
CALC. BY: S.R.C.
CHKD. BY: J.T.M.
PROJECT: M213934

NO. DATE DESCRIPTION BY

SHEET: 10 OF 10