

DEFINITIVE SUBDIVISION PLAN
FOR
23 HAMPSTEAD STREET
IN
METHUEN, MA

LOCUS MAP
SCALE: 1"=800

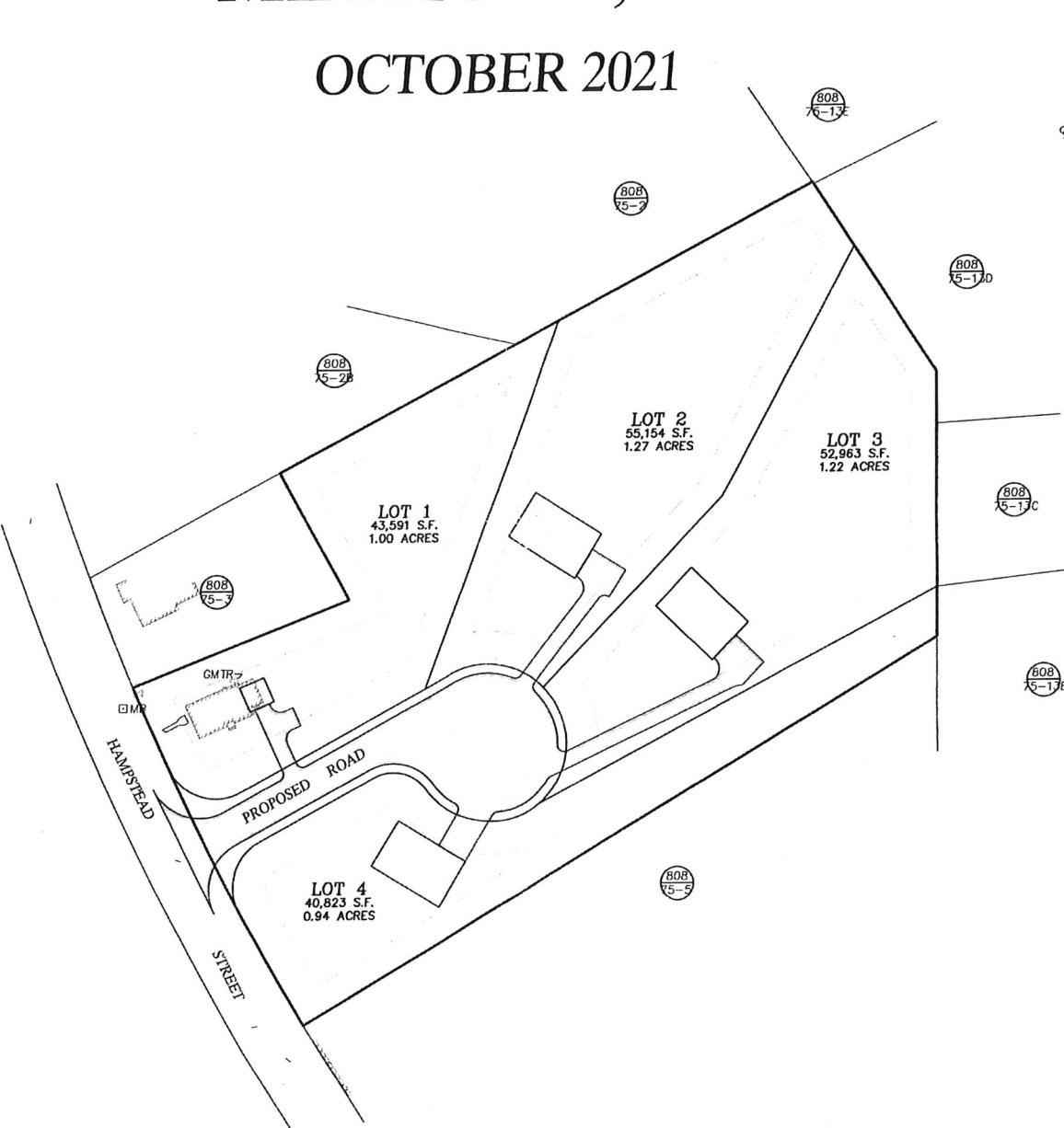
PLAN INDEX

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RECORD OWNER/APPLICANT
JR BUILDERS INC.

16 INDUSTRIAL WAY
SALEM, NH

CIVIL ENGINEER:
MILLENNIUM ENGINEERING
62 ELM STREET
SALISBURY, MA 01952



ZONING DISTRICT - RA

LOT AREA:	40,000 S.F.
LOT FRONTAGE:	100 FEET
LOT WIDTH:	100 FEET
FRONT SETBACK:	25 FEET
SIDE SETBACK:	20 FEET
REAR SETBACK:	20 FEET
BLDG COVERAGE:	25%
LOT COVERAGE:	40%
BUILDING HEIGHT:	35 FEET

WAIVER REQUESTS:

THE FOLLOWING WAIVERS ARE REQUESTED FROM THE CITY OF MELVIN RULES AND REGULATIONS
GOVERNING THE SUBDIVISION OF LAND:

- 1) WAIVER FROM SECTION 4.2.2.8 OF THE METHUEN SUBDIVISION REGULATION NOT ALLOWING DEAD END STREETS.
- 2) WAIVER FROM SECTION 5.7.1 OF THE METHUEN SUBDIVISION REGULATIONS REQUIRING SIDEWALKS ON BOTH SIDES OF THE STREET. NO SIDEWALKS ARE PROPOSED.
- 3) WAIVER FROM SECTION 5.6.1 REQUIRING A LOOPED WATER MAIN.
- 4) WAIVER FROM SECTION 5.6.1 REQUIRING AN 8" WATER MAIN. A 6" WATER MAIN IS PROPOSED.



(IN FEET)
1 inch = 60'

PREPARED FOR
JR BUILDERS, INC
16 INDUSTRIAL WAY
SALEM, NH 03079

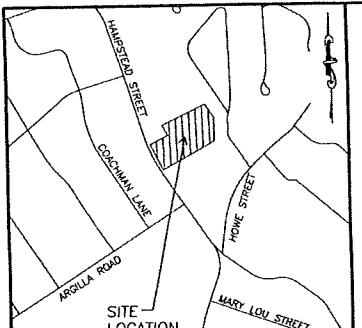


EI MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

COVER
SHEET

SHEET: 1 OF 10



LOCUS MAP
SCALE: 1"=800'

ZONING DISTRICT - RA
RESIDENTIAL - AGRICULTURAL
MINIMUM LOT AREA - 40,000 S.F.
MINIMUM FRONTAGE - 100'
MINIMUM LOT WIDTH - 100'

REQUIRED SETBACKS
FRONT 25'
SIDE 20'
REAR 20'

MSFCs - NAD 83

80B
N/F
MARTIN M. & KIEU T. CASSIDY
BK. 5800 PG. 14

N

80B
N/F
OUH REVOCABLE TRUST
BK. 15048 PG. 34

80B
N/F
JENNIFER HEALEY
BK. 5043 PG. 236

80B
N/F
ALLISON & LAUREN J. PRAY
BK. 12380 PG. 116

BASIS OF BEARINGS
MASS STATE PLANE COORDINATE SYSTEM
NAD-83

OWNER OF RECORD
JR BUILDERS INC.
BK. 17057 PG. 201

PLAN REFERENCES

PLAN #7840
PLAN #4361
PLAN #13744
PLAN #15516
PLAN #18064
ESSEX COUNTY LAYOUT #2504

FOR REGISTRY USE

METHUEN COMMUNITY DEVELOPMENT BOARD

DATE: _____

HAMPSTEAD

LOT 1
43,589 S.F.
1.00 ACRES

LOT 2
55,154 S.F.
1.27 ACRES

LOT 3
52,963 S.F.
1.22 ACRES

LOT 4
40,865 S.F.
0.94 ACRES

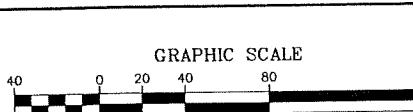
80B
N/F
DOUGLAS GEORGE
BK. 13891 PG. 293

LEGEND

- D.H.S.B. DRILL HOLE STONE BOUND TO BE SET
- I ROD IRON ROD TO BE SET
- D.H. DRILL HOLE
- I.P. IRON PIPE
- I ROD IRON ROD FOUND
- N/F NOW OR FORMERLY

ASSESSORS MAP#
PARCEL#

GRAPHIC SCALE
(IN FEET)
1 inch = 40'



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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528
SCALE: 1"=40' CALC. BY: P.D.B.
NO. DATE DESCRIPTION BY DATE: OCT. 5, 2021 CHKD. BY: J.S.H. PROJECT: M213934

DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

LOT
LAYOUT

SHEET: 3 OF 10

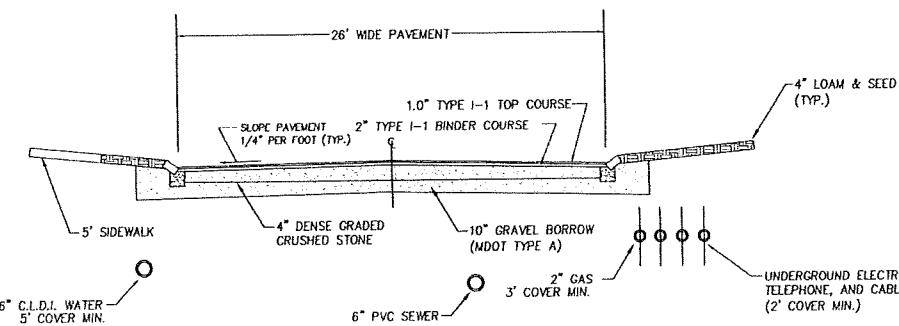


NOTES:
THIS PLAN DOES NOT SHOW ANY UNRECORDED OR
UNWRITTEN EASEMENTS WHICH MAY EXIST. A
REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE
TO OBSERVE ANY APPARENT, VISIBLE USES OF THE
LAND; HOWEVER, THIS DOES NOT CONSTITUTE A
GUARANTEE THAT NO SUCH EASEMENTS EXIST.

THE CERTIFICATIONS SHOWN HEREON ARE NOT
INTENDED AS CERTIFICATION TO TITLE OR OWNERSHIP
OF PROPERTY SHOWN. OWNERS OF ADJOINING
PROPERTIES ARE ACCORDING TO CURRENT CITY OF
HAVERHILL ASSESSORS RECORDS.

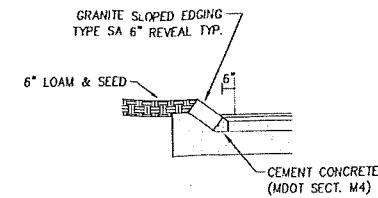
I CERTIFY:
THAT THIS ACTUAL SURVEY WAS MADE ON THE
GROUND BETWEEN JUNE 11, 2021, AND JULY 22,
2021, AND THAT THE STRUCTURES AND PHYSICAL
FEATURES ARE LOCATED AS SHOWN TO THE BEST OF
MY ABILITY AND BELIEF.

THAT THIS PLAN CONFORMS TO THE RULES AND
REGULATIONS OF THE REGISTRY OF DEEDS.



ROADWAY CROSS-SECTION (TYPICAL)

N. 7



**TYPICAL SLOPED
EDGING DETAIL
(AT RETURNS)**

N.T.S.

LEGEND

EXISTING	PROPOSED	
□	■ CB	CATCH BASIN (OR GUTTER INLET, OR LEACHING BASIN)
□	■ CBCI (OR GCI)	CATCH BASIN (OR GUTTER INLET) WITH CURB INLET
—	—	CURB (OR BERM) - TYPE NOTED
—	—	EDGE OF ROAD
—	—	CONTOUR
—	—	SEWER MANHOLE
—	—	DRAINAGE MANHOLE
—	—	GAS GATE
—	—	WATER GATE
—	—	HYDRANT
—	—	FIRE ALARM BOX
—	—	POST MOUNTED PEDESTRIAN LIGHT
—	—	UTILITY POLE
—	—	DRAIN PIPE
—	—	SEWER MAIN
—	—	SEWER FORCE MAIN
—	—	UNDERDRAIN
—	—	WATER MAIN
—	—	ELECTRIC/TELEPHONE DUCT
□ MB	■ MB	MAIL BOX
—	—	HIGHWAY GUARD (TYPE NOTED)
—	—	FENCE (SIZE AND TYPE NOTED)
—	—	EASEMENT LINE
—	—	PROPERTY LINE
—	—	100 FT BUFFER ZONE
—	—	TEST PIT
—	—	SILTATION BARRIER/LIMIT OF WORK
—	—	WETLAND

SURVEY

120 ✓ WETLAND DELINEATION FLAG
 C.B. CONCRETE BOUND
 S.B. STONE BOUND
 D.H. DRILL HOLE
 PK MASONRY NAIL
 I.P. IRON PIPE
 I ROD IRON ROD
 FND. FOUND
 N/FND. NOT FOUND

 ASSESSORS MAP AND PARCEL

PAVEMENT NOTES:

FINISH COURSE: 1" BIT. CONC. TOP COURSE TYPE I-1
BINDER COURSE: 2" BIT. CONC. BASE COURSE TYPE I-1
GRAVEL BASE: 4" PROCESSED GRAVEL (MDOT M1.03.1) OVER 10
OF GRAVEL BORROW (MDOT M1.03.0 TYPE B)

ROADWAY NOTES

1. ALL STUMPS, ROCKS AND LEDGE WITHIN THE LIMITS OF THE PROPOSED PAVED WAY SHALL BE REMOVED. ALL LEDGE SHALL BE REMOVED TO A MINIMUM DEPTH OF 2' BELOW FINISHED PAVEMENT GRADE.
2. ROADWAY SHALL NOT BE CONSTRUCTED DURING FREEZING WEATHER OR ON WET OR FROZEN SUBGRADE.
3. GRADING AND ROLLING SHALL BE REQUIRED TO PROVIDE A SMOOTH, EVEN, AND UNIFORM COMPACTED BASE WHICH IS COMPACTED TO A MINIMUM DRY DENSITY OF 95 PERCENT.
4. THE MINIMUM SLOPE FROM THE CROWN OF FINISHED BASE COURSE SHALL BE 1/4" PER FOOT UNLESS OTHERWISE SHOWN.
5. ALL UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REPLACED WITH SATISFACTORY MATERIAL AND BROUGHT UP TO GRADE WITH GRAVEL BORROW CONTAINING NO STONES GREATER THAN 6" DIAMETER.
6. AT ALL TIMES DURING CONSTRUCTION, THE SUB-GRADE AND ALL DITCHES SHALL BE CONSTRUCTED AND MAINTAINED SO THAT THE ROADWAY WILL EFFECTIVELY BE DRAINED.
7. THE CONTRACTOR SHALL REFER TO THE CITY OF METHUEN SUBDIVISION RULES AND REGULATIONS.

MATERIAL NOTES

ALL MATERIALS AND CONSTRUCTION METHODS OF ALL THE ELEMENTS IN THE SUBDIVISION MUST CONFORM TO THE FOLLOWING STANDARDS, UNLESS OTHERWISE SHOWN AND APPROVED:

1. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
2. AMERICAN WATER WORKS ASSOCIATION (AWWA)
3. COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF TRANSPORTATION
STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (LATEST EDITION)
4. 521 CMR RULES AND REGULATIONS OF THE ARCHITECTURAL ACCESS BOARD
(AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA)
5. SPECIFICATIONS BY THE CITY OF METHUEN AS SET FORTH BY SECTIONS
I - VI IN THE SUBDIVISION RULES AND REGULATIONS, (LATEST EDITION)

GENERAL NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS. ANY PROPOSED REVISIONS TO THE WORK SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND REGULATING CITY AND/OR STATE AGENCIES.
2. THE CONTRACTOR SHALL INSTALL ALL SYSTEM COMPONENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ALL APPLICABLE ELECTRICAL, PLUMBING, AND SANITARY CODES.
3. ALL WORK SHALL CONFORM TO; THE METHUEN SUBDIVISION RULES AND REGULATIONS, THE CITY OF METHUEN CONSTRUCTION STANDARDS AND DETAILS, THE WETLANDS PROTECTION ACT (310 CMR 10.00), THE ORDER OF CONDITIONS ISSUED BY THE METHUEN CONSERVATION COMMISSION; NPDES CONSTRUCTION GENERAL PERMIT; AND THESE PLANS.
4. THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS AVAILABLE RECORDS, UTILITY COMPANIES AND INDIVIDUALS, AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY CONTACTING "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. DIG-SAFE TELEPHONE NUMBER: 1-888-344-7233.
6. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE NEW WORK. HE/SHE SHALL EXCAVATE TO VERIFY PERTINENT DRAINAGE INVERTS AND POTENTIAL UTILITY CONFLICTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
7. ALL EXISTING STRUCTURES AND SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER PRIOR TO CUTTING OPERATIONS.
8. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PUBLIC, EMPLOYEES, AND ALL OTHER PERSONS ASSOCIATED WITH THE PROJECT. HE/SHE SHALL COORDINATE AND BE RESPONSIBLE FOR ALL SAFETY SIGNING, BARRIERS AND TEMPORARY PAVEMENT MARKINGS NECESSARY TO PROVIDE A SMOOTH AND PROPER TRANSITION FOR TRAFFIC FLOW.
9. IF REQUIRED BY THE CONTRACTOR, OVERHEAD LINES SHALL BE RELOCATED BY THE UTILITY COMPANY AT THE CONTRACTOR'S EXPENSE.
10. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
11. ALL SEWER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM PROPOSED WATER MAINS AND SHALL MAINTAIN 5 FEET OF COVER OVER THE TOP OF THE PIPING, UNLESS OTHERWISE SHOWN OR APPROVED.
12. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER OVER THE TOP OF THE PIPE, UNLESS OTHERWISE SHOWN OR APPROVED.
13. WHENEVER SEWER MAINS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS; A) SEWER MAIN SHALL BE SCHEDULE BO FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF WATER MAIN, B) JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 PSI FOR GRAVITY SEWERS AND 1.5 TIMES WORKING PRESSURE FOR FORCE MAINS AND JOINTS NOT TO BE LOCATED WITHIN 9 FEET OF THE CROSSING; C) WATER MAIN SHALL BE CONCRETE ENCASED IF THE VERTICAL SEPARATION IS LESS THAN 1.5 FEET.
14. INDIVIDUAL BUILDING OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THEIR SEWER SERVICE FROM THE BUILDING TO THE RIGHT-OF-WAY. THE HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF THE 2" HDPE LOW PRESSURE FORCEMAIN.
15. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
16. 14 DAYS PRIOR TO COMMENCING CONSTRUCTION, THE OWNER/DEVELOPER SHALL PRESENT A CONSTRUCTION SCHEDULE TO THE ROAD AGENT AND/OR THE CITY OF METHUEN PLANNING BOARD.
17. TWO HARD COPIES OF AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE ROAD AGENT AND/OR THE CITY OF METHUEN PLANNING BOARD UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL INCLUDE ALL LANDBASE AND UTILITIES INFORMATION.
18. ONSITE BURIAL OF STUMPS OR ANY OTHER DEBRIS IS PROHIBITED.
19. ELEVATIONS ARE BASED UPON 1988 NAVD DATUM.



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16 INDUSTRIAL WAY
SALEM, NH 03079



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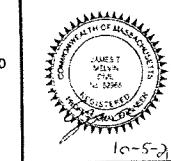
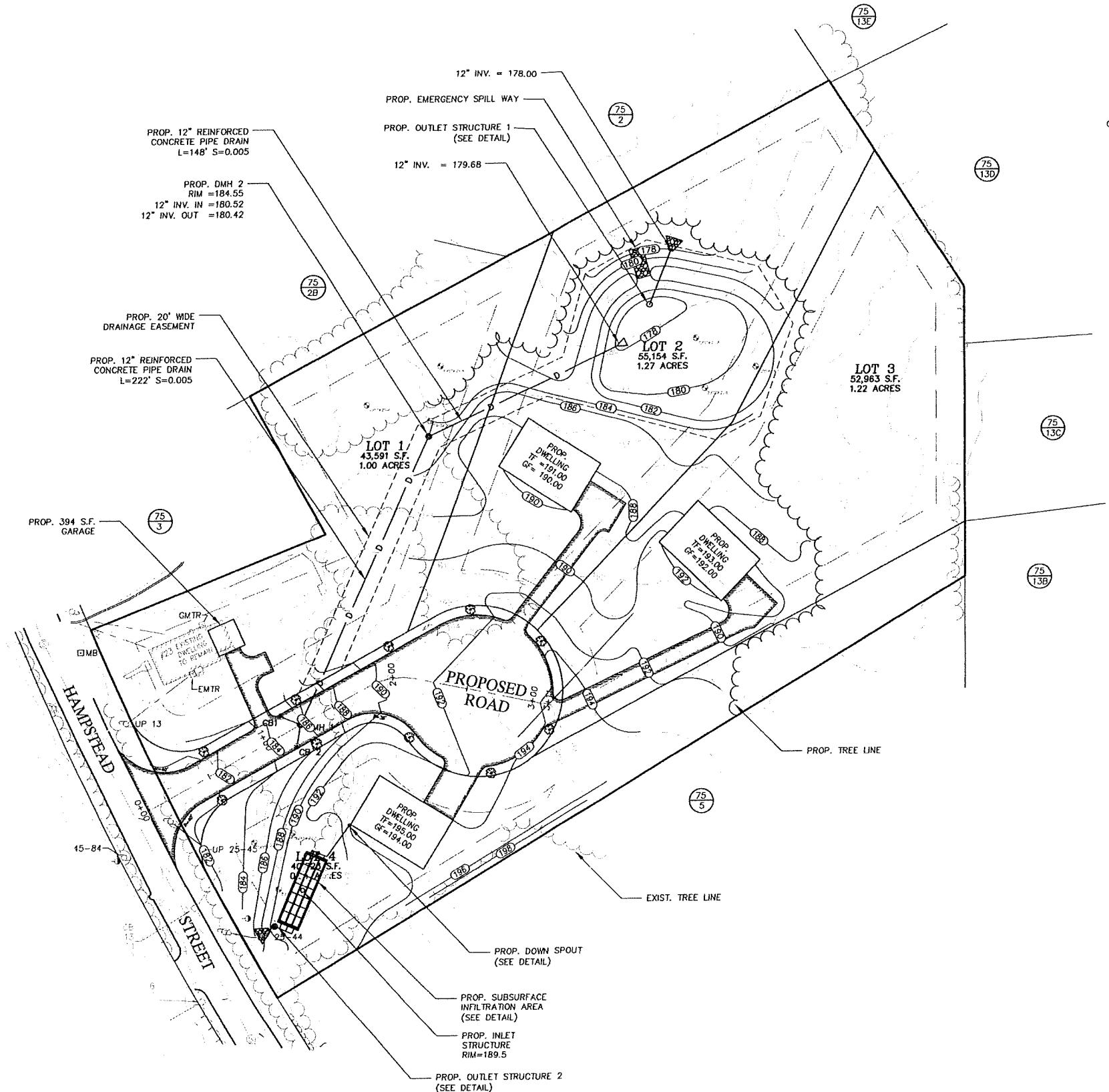
SCALE: AS NOTED CALC. BY: S.R.C. PROJECT: M213934
DATE: OCT 5 2021 CHKD BY: J.M.

DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

TYPICAL
SECTIONS
&
GENERAL
NOTES

SHEET: 1 OF 10

DATE: _____



(IN FEET)
1 inch = 40'

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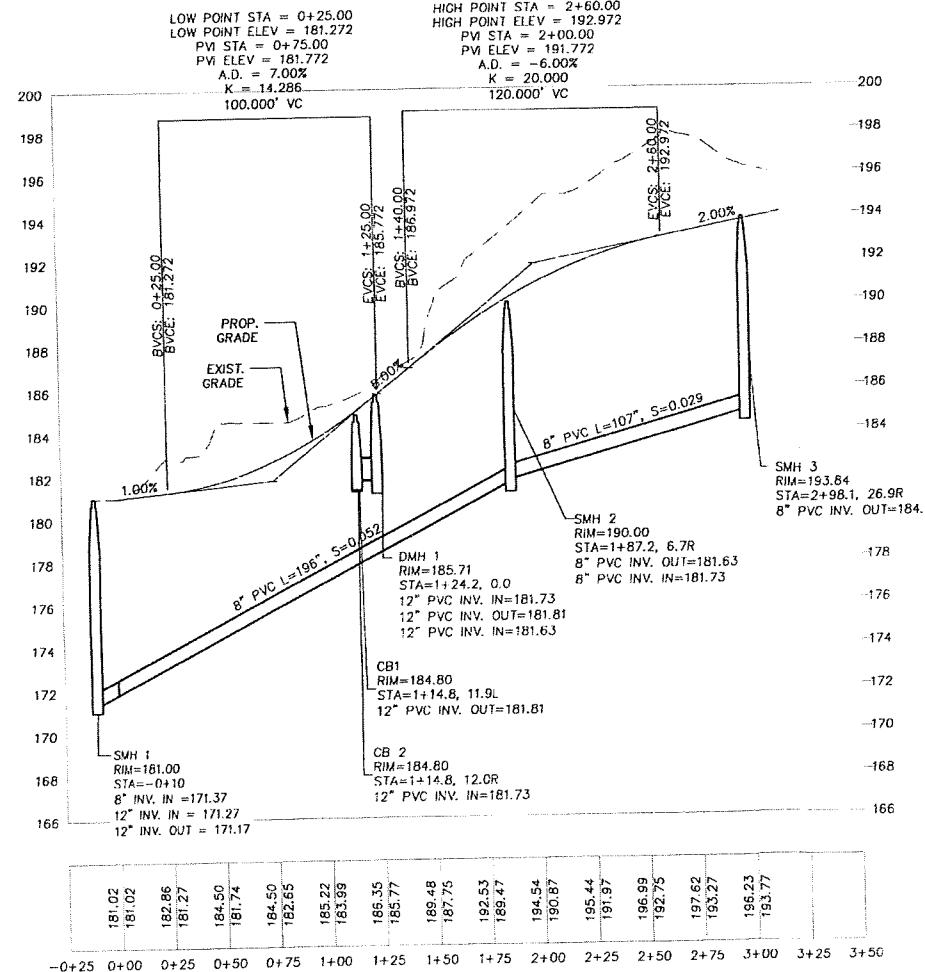
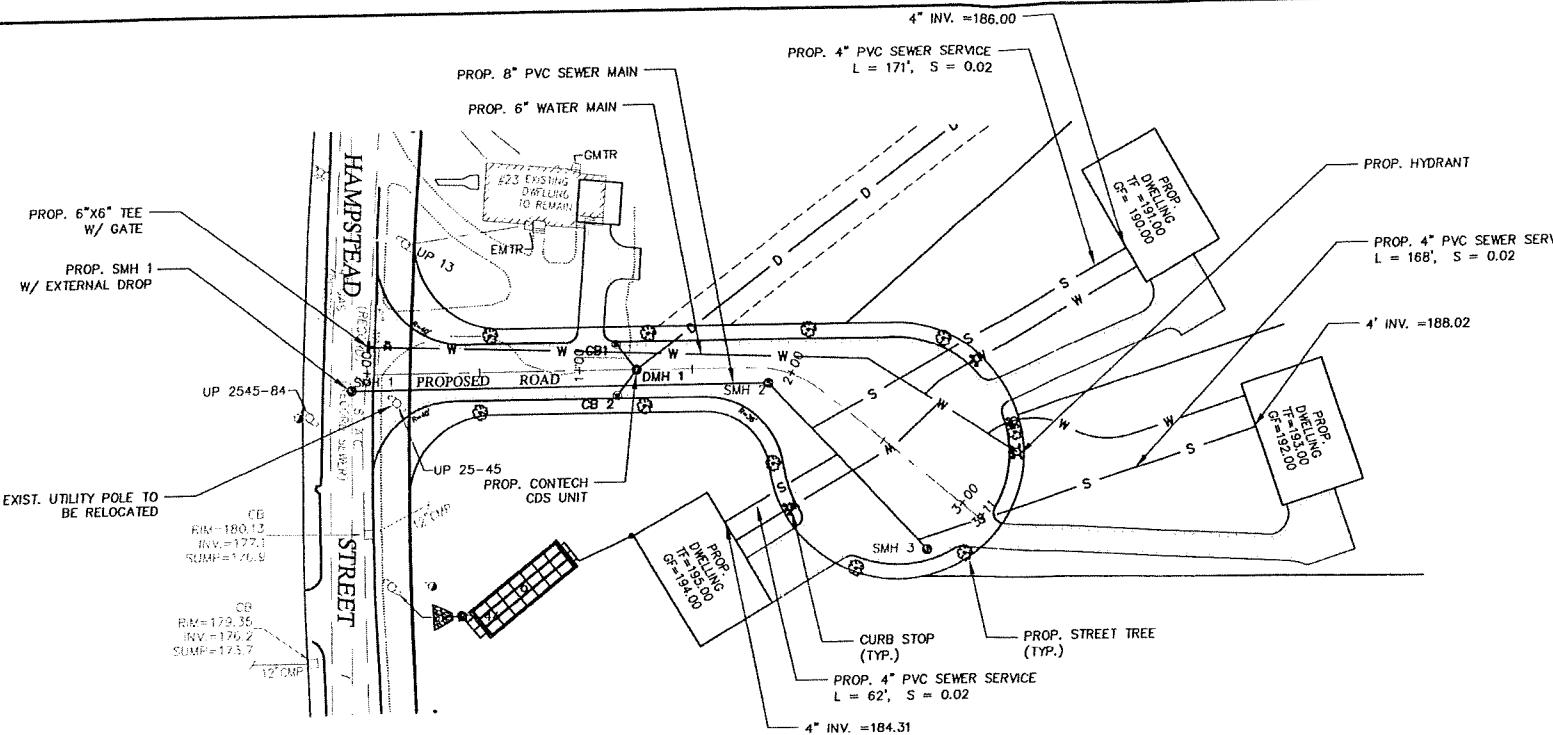
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DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

GRADING AND DRAINAGE PLAN

NOTES:

1. WATER AND SEWER FOR EXISTING DWELLING TO REMAIN



40 0 20 40

(IN FEET
1 inch = 40 ft)

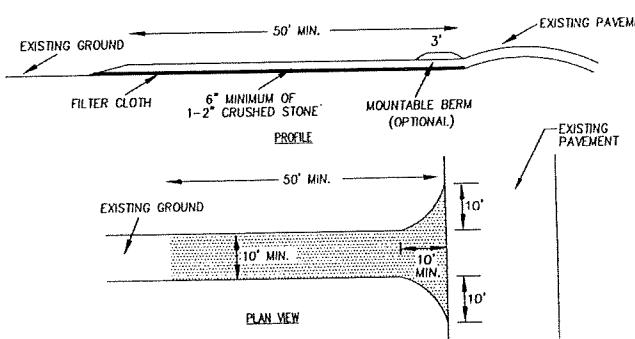
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PLAN
&
PROFILE

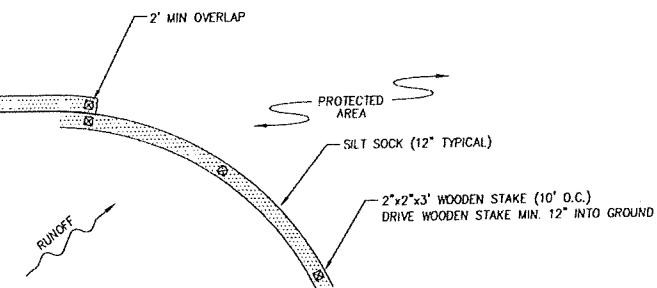
DATE: _____

**NOTES**

1. STONE SHALL BE 1-1/2"-2" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6".
4. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
5. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
7. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE INTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

CONSTRUCTION ENTRANCE**DETAIL**

N.T.S.

**NOTES**

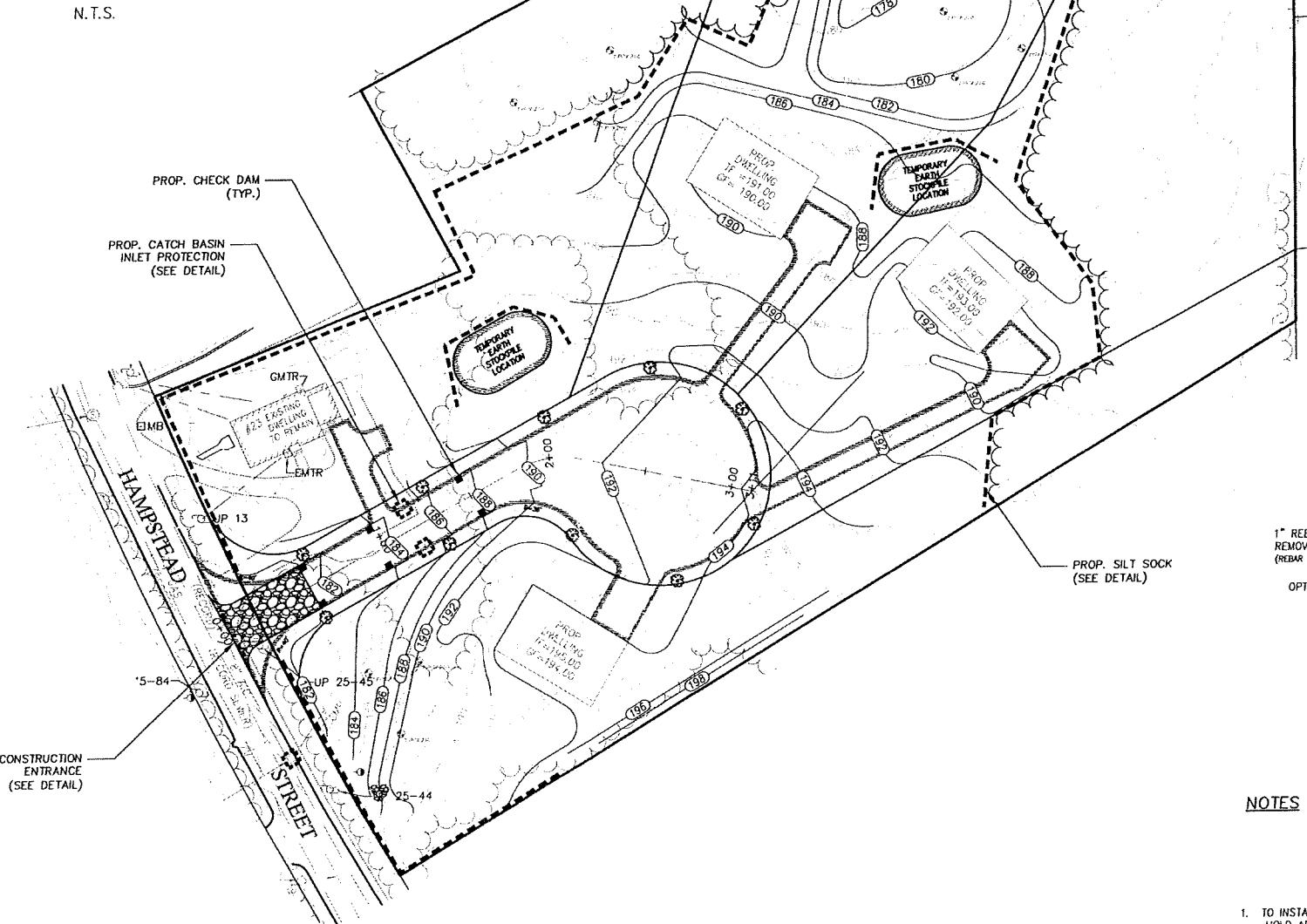
1. ALL MATERIAL SHALL MEET SPECIFICATIONS BY FILTREXX OR APPROVED EQUAL.
2. SILT SOCK SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
3. THE CONTRACTOR SHALL REMOVE SEDIMENT AT THE BASE OF THE UPSLOPE SIDE OF THE SILT SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE SILT SOCK.
4. SILT SOCK SHALL BE MAINTAINED UNTIL DISTURBED AREA ABOVE THE DEVICE HAS BEEN PERMANENTLY STABILIZED AND CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
5. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE SOCK HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
6. SILT SOCK SHALL BE INSPECTED DAILY BY THE GENERAL CONTRACTOR.

SILT SOCK**INSTALLATION**

N.T.S.

GENERAL EROSION
CONTROL NOTES

1. ALL SILT FENCE SHALL BE INSTALLED BEFORE THE START OF CONSTRUCTION. SILT FENCE SHALL BE REMOVED UPON COMPLETION OF THE PROJECT AND STABILIZATION OF ALL SOIL.
2. ALL FILL SHALL BE FREE OF STUMPS AND LARGE STONES.
3. ANY STANDING BODIES OF WATER CREATED DURING EXCAVATION SHALL BE ELIMINATED.
4. EROSION CONTROL BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL AND PROMPTLY REPAIRED OR REPLACED AS NECESSARY.
5. ACCUMULATED SEDIMENT DEPOSITS UPSTREAM OF BARRIERS SHALL BE PROPERLY DISPOSED OF ON A REGULAR BASIS.
6. AREAS OUTSIDE THE LIMITS OF WORK (EROSION CONTROL/SILT FENCE LOCATIONS) DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION AND/OR SEDIMENT CONTROLS DURING CONSTRUCTION. HE/SHE SHALL INSPECT CONTROLS WEEKLY AND AFTER ALL STORM EVENTS. REPAIRS, IF REQUIRED, SHALL BE MADE IMMEDIATELY.
8. TEMPORARY GROUND COVER SHALL BE ESTABLISHED IN AREAS OF CONSTRUCTION WHERE REQUIRED BY THE HENRIMAC PLANNING BOARD AND CONSERVATION COMMISSION.
9. ANY DISTURBED AREAS OF THE SITE NOT USED FOR ROADWAY OR UTILITY CONSTRUCTION SHALL BE STABILIZED WITH LOAM AND SEED UNTIL FURTHER DISTURBANCE IS REQUIRED FOR BUILDING CONSTRUCTION.
10. THE CONTRACTOR SHALL IDENTIFY TO THE TOWN HIS/HER TOPSOIL STOCKPILING OPERATIONS AND LOCATIONS.
11. PROVIDE GRAVEL AND WIRE MESH SEDIMENT FILTER AT ALL CATCH BASINS.
12. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED ON ALL DISTURBED UNPAVED SURFACES.
13. SEED MIX SHALL BE NO LESS THAN 4 LBS./1000 S.F. OF LAND AREA. SEED SHALL CONSIST OF A MAXIMUM OF 10% RYE GRASS AND A MINIMUM OF 90% PERMANENT BLUEGRASS AND/OR FESCUE. LIME SHALL BE APPLIED AT A RATE OF 1 TONS/ACRE.
14. NO MORE THAN 3 ACRES SHALL BE DISTURBED AT ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
15. WHERE PLACEMENT OF SOIL IS REQUIRED FOR STORM WATER CONTROL, FILL SHALL BE PLACED IN AN UNFROZEN STATE UPON UNFROZEN GROUND. UNDER NO CIRCUMSTANCES SHALL FILL BE PLACED FROM NOVEMBER THROUGH JANUARY.
16. SILT SACKS SHALL BE INSTALLED IN ALL PROPOSED CATCH BASINS AND IN DOWNSTREAM CATCH BASINS IN BOSTON ROAD AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN.

PROP. CONSTRUCTION
ENTRANCE
(SEE DETAIL)**NOTES**

1. TO INSTALL SILTSACK IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
2. WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK IS FULL AND SHOULD BE EMPTIED.
3. TO REMOVE SILTSACK, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE REMOVAL OF SILTSACK.
4. TO EMPTY SILTSACK, PLACE UNIT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL LIFT SILTSACK FROM THE BOTTOM AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
5. SILTSACK IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK FROM THE BASIN AND CLEAN. SILTSACK SHOULD BE STORED OUT OF SUNLIGHT UNTIL NEXT USE.

SILT SACK**DETAIL**

N.T.S.

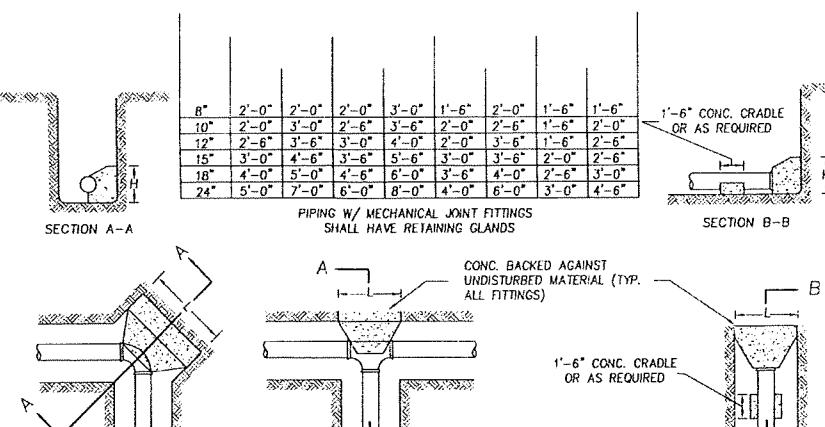
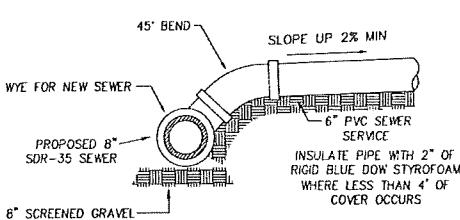
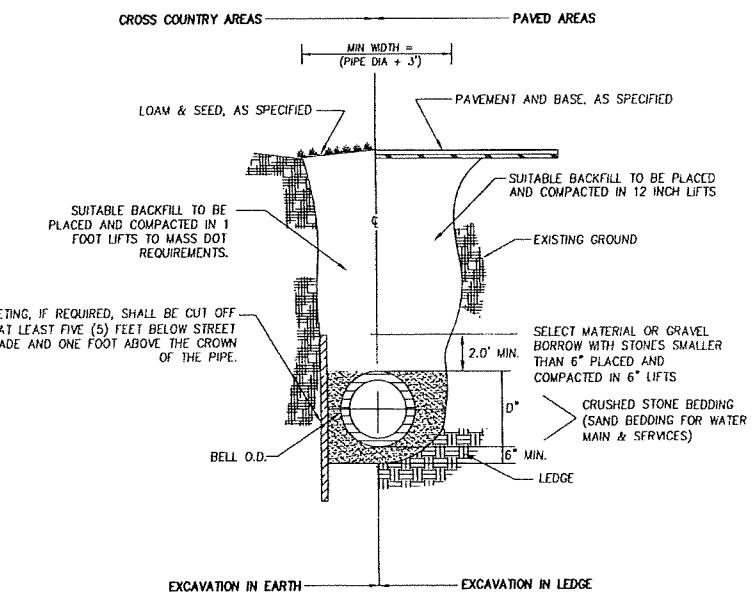
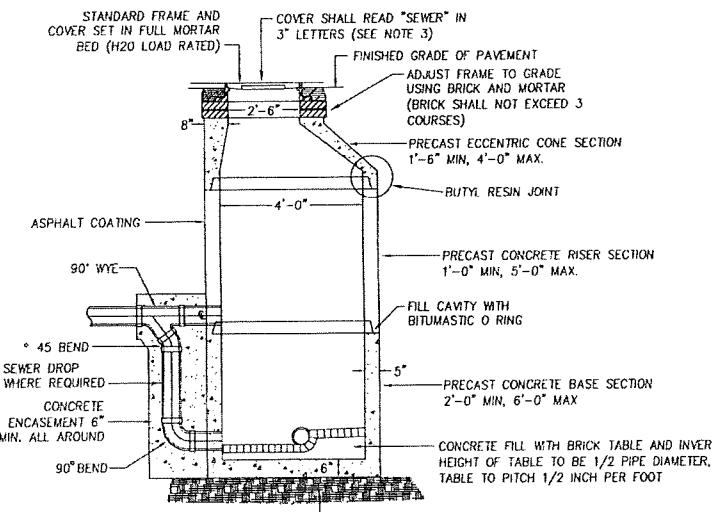
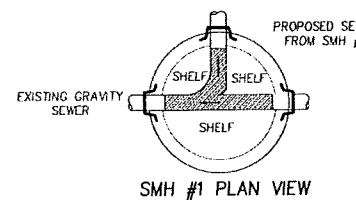
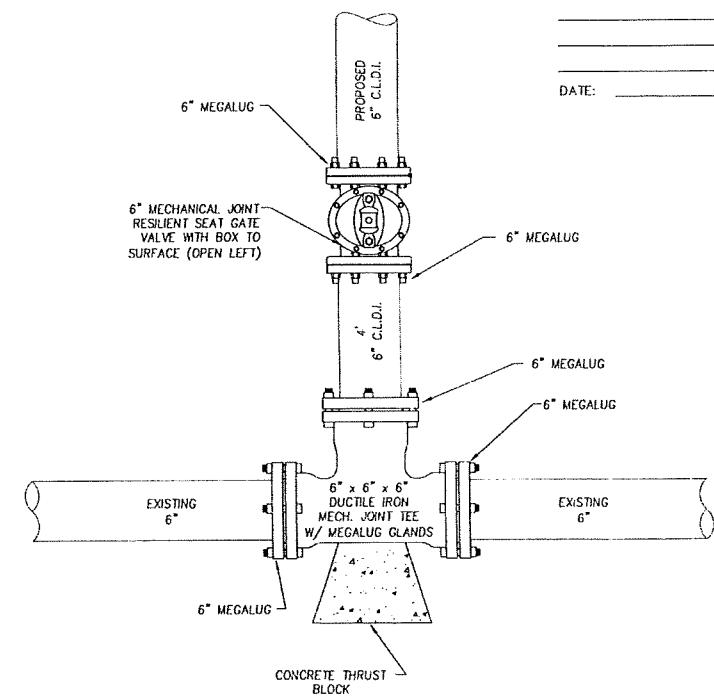
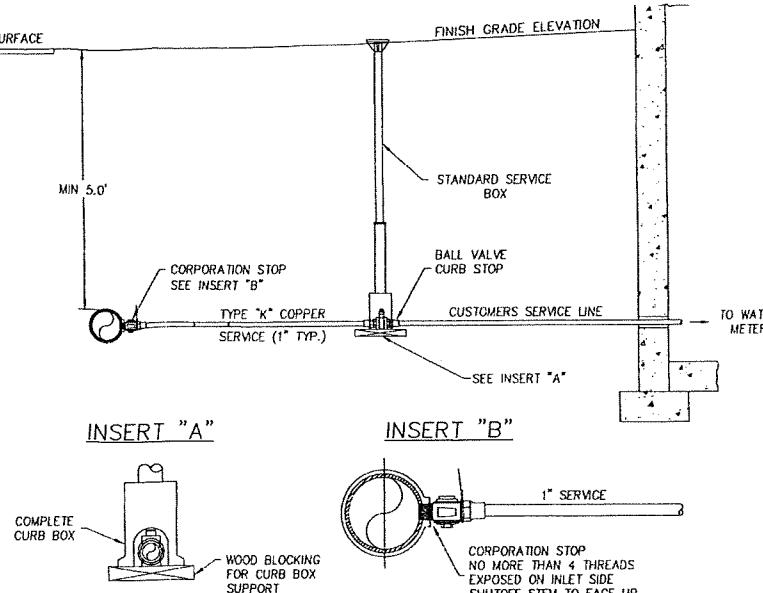
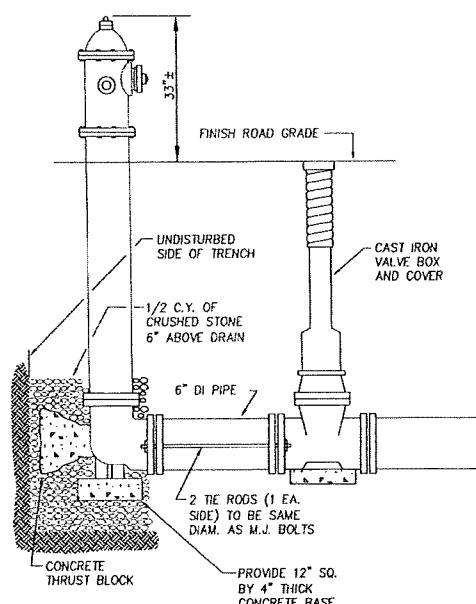
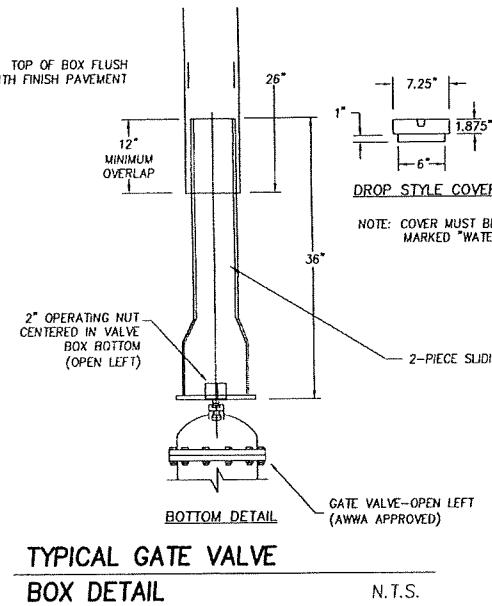
DEFINITIVE SUBDIVISION PLANIN
METHUEN, MAAT
23 HAMPSTEAD ST**EROSION
AND
SEDIMENTATION
CONTROL
PLAN**

SHEET: 7 OF 10



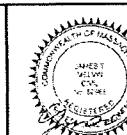
PREPARED FOR
JR BUILDERS, INC.
16 INDUSTRIAL WAY
SALEM, NH 03079
10-5-21

MEI MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528
SCALE: 1"=40'
NO. DATE DESCRIPTION BY
DATE: OCT. 5, 2021
CALC. BY: S.R.C.
CHKD. BY: J.T.M.
PROJECT: M213934



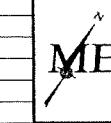
THRUST BLOCK DETAILS

PRECAST SEWER MANHOLE DETAIL N.T.S.



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16 INDUSTRIAL WAY
SALEM, NH 03079

10-5-21



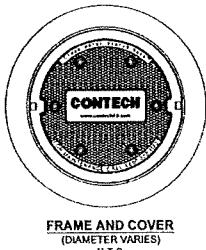
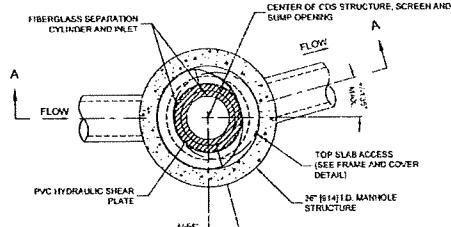
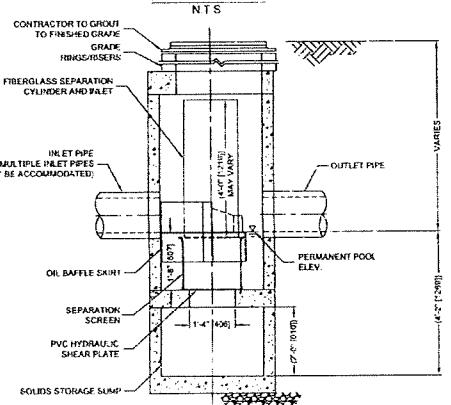
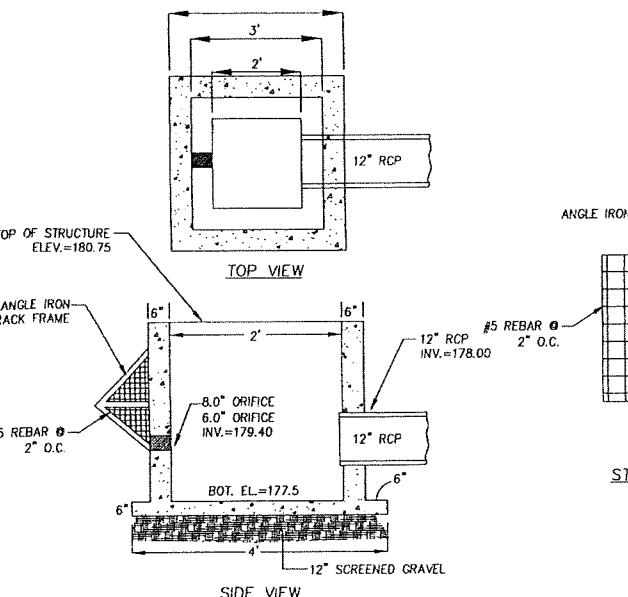
MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
62 ELM ST. SALISBURY, MA 01952 (978) 463-8980
13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS NOTED CALC. BY: S.R.C.
NO. DATE DESCRIPTION BY DATE: OCT 5, 2021 CHKD. BY: J.T.M. PROJECT: M213934

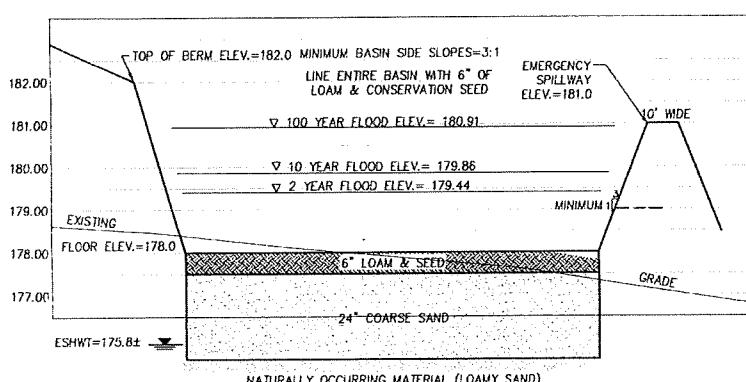
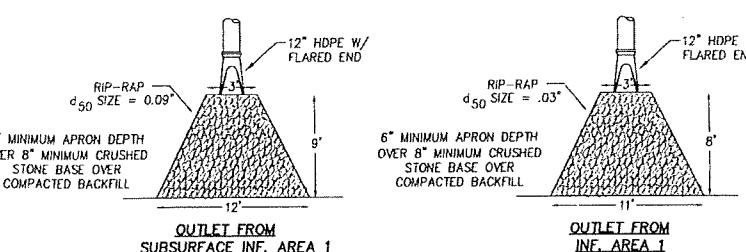
DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

CONSTRUCTION DETAILS I
SHEET: 8 OF 10

DATE: _____

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.PLAN VIEW B-B
N.T.S.ELEVATION A-A
N.T.S.CONTECH CDS
DETAIL
N.T.S.NOTE:
1. ANY EXPOSED REBAR SHALL BE COATED WITH A RUST-RESISTANT PAINT.

OUTLET STRUCTURE (INFILTRATION BASIN)

DETAIL
N.T.S.INFILTRATION BASIN
HORIZ. SCALE: N.T.S.
VERT. SCALE: 1"=2"

% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)	% OF WEIGHT SMALLER THAN THE GIVEN SIZE	SIZE OF STONE (INCHES)
100	1.6	100	0.6
85	1.4	85	0.5
50	1.1	50	0.4
15	0.3	15	0.1

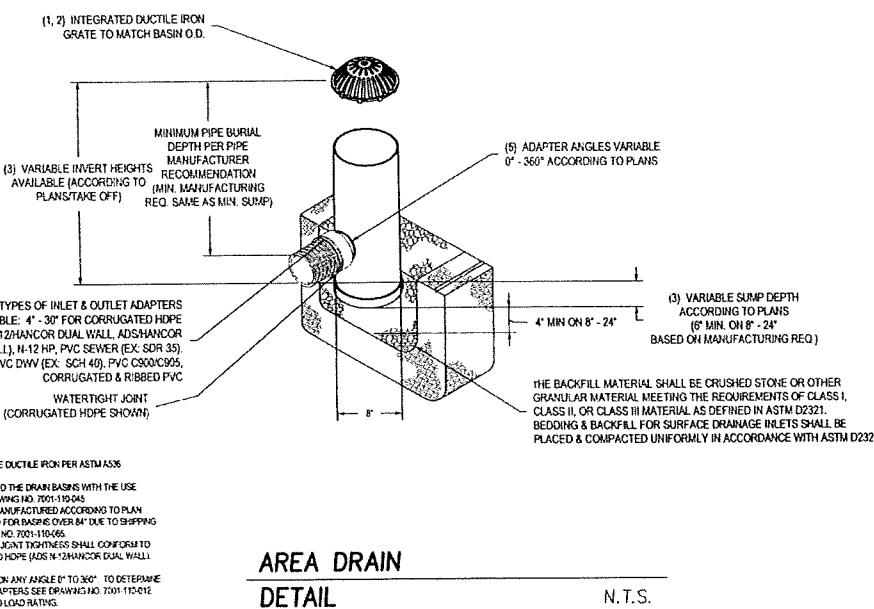
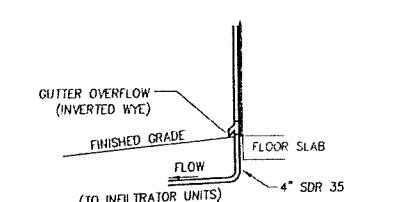
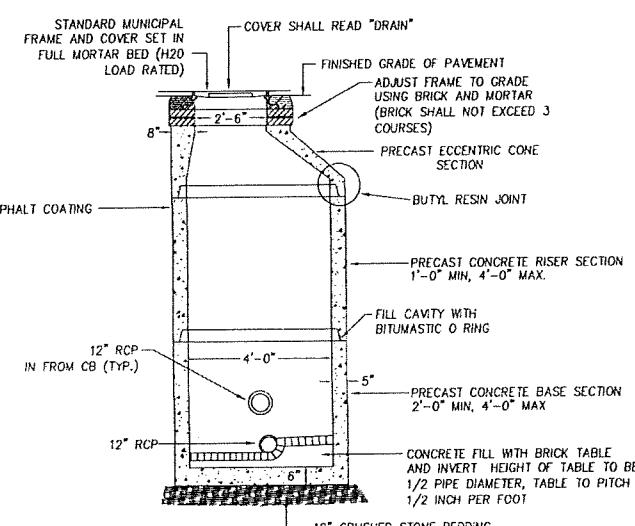
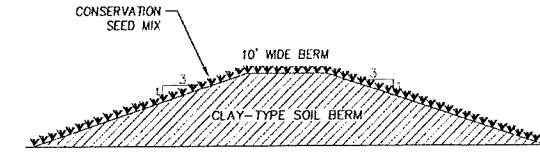
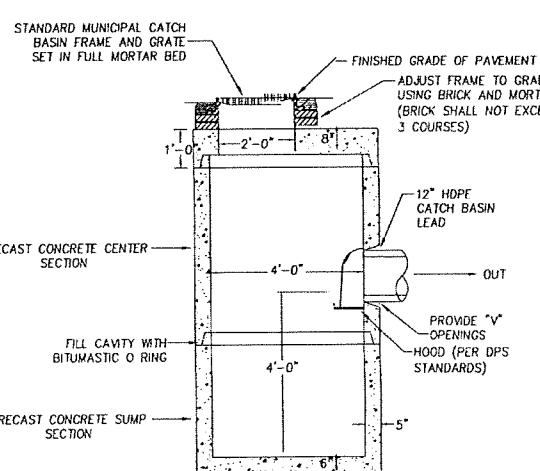
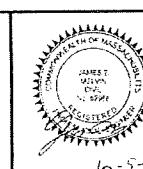
RIP RAP
OUTLET DETAIL
N.T.S.

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13 HAMPTON RD. EXETER, NH 03833 (603) 778-0528

SCALE: AS NOTED
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BY
DATE: OCT. 5, 2021
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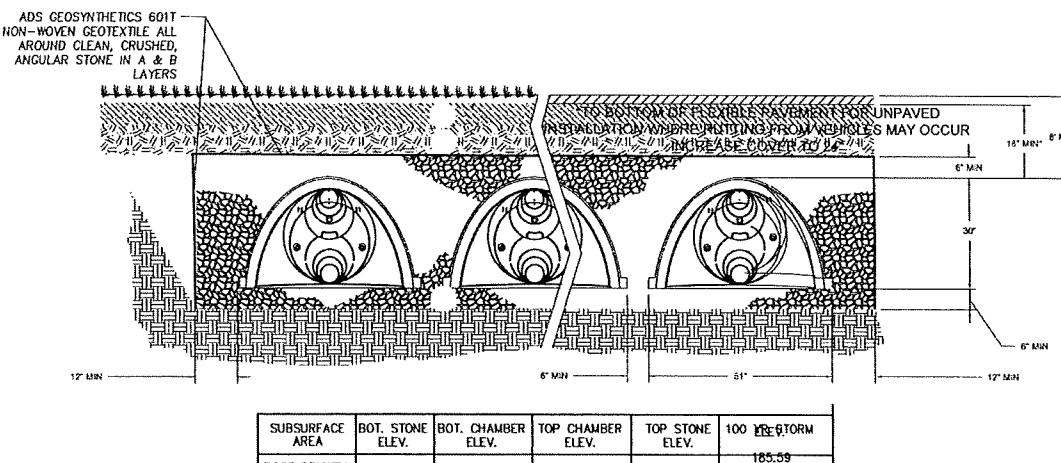
DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

CONSTRUCTION
DETAILS II
SHEET: 9 OF 10

AREA DRAIN
DETAIL
N.T.S.GUTTER DOWN
SPOUT DETAIL
N.T.S.PRECAST DRAIN
MANHOLE DETAIL
N.T.S.INFILTRATION BASIN
BERM DETAIL
N.T.S.PRECAST CATCH
BASIN DETAIL
N.T.S.

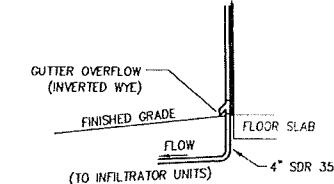
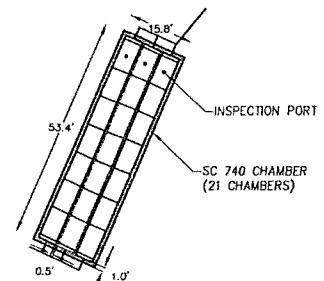
PREPARED FOR
JR BUILDERS, INC.
16 INDUSTRIAL WAY
SALEM, NH 03079
10-5-2

DATE: _____

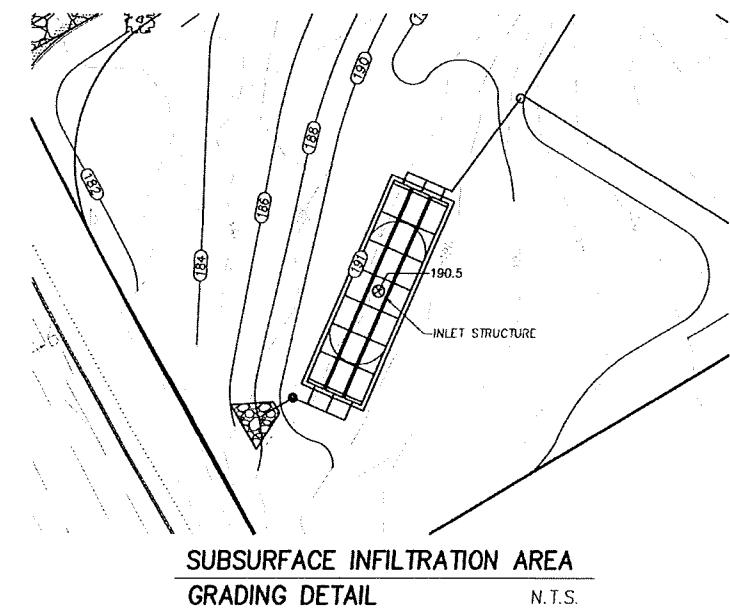


**SUBSURFACE
INFILTRATION AREA**
N.T.S.

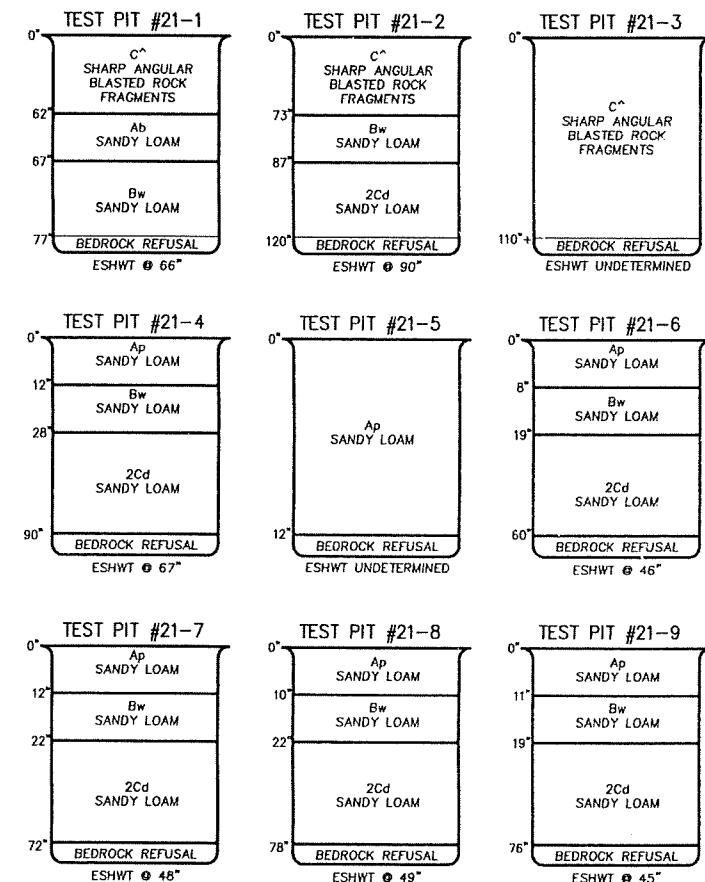
**SUBSURFACE INFILTRATION AREA
DETAIL**
N.T.S.



**GUTTER DOWN
SPOUT DETAIL**
N.T.S.



**SUBSURFACE INFILTRATION AREA
GRADING DETAIL**
N.T.S.



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16 INDUSTRIAL WAY
SALEM, NH 03079

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SCALE: AS NOTED CALC. BY: S.R.C. PROJECT: M213934
NO. DATE DESCRIPTION BY DATE: OCT. 5, 2021 CHKD. BY: J.T.M.

DEFINITIVE SUBDIVISION PLAN
IN
METHUEN, MA
AT
23 HAMPSTEAD ST

CONSTRUCTION
DETAILS III
SHEET: 10 OF 10