

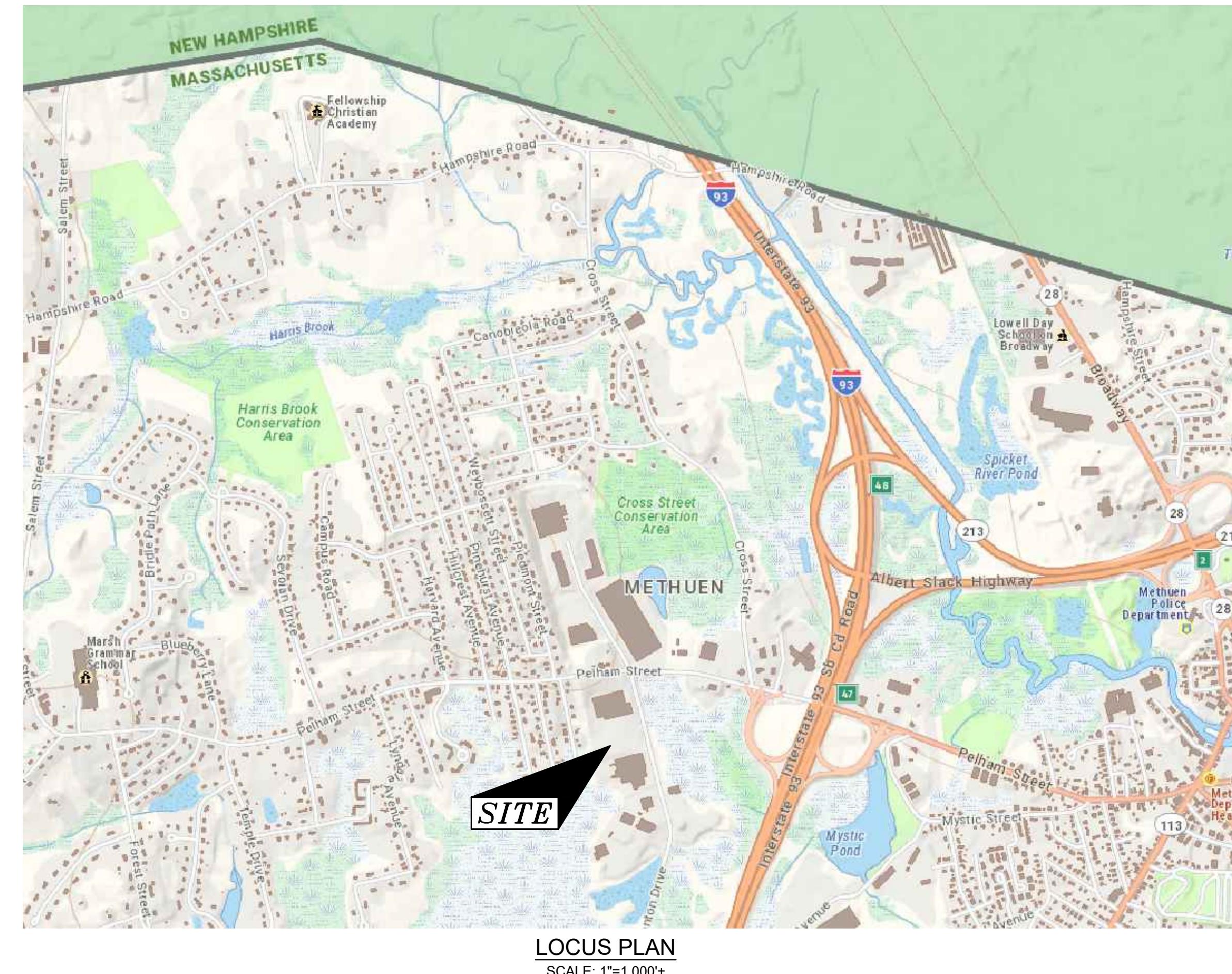
# MODIFICATION TO SITE PLAN APPROVAL 33 DANTON DRIVE

METHUEN, MASSACHUSETTS

PREPARED FOR:  
BOGHOS PROPERTIES LLC

52 ENGLISH COMMONS  
TOPSFIELD, MA 01983

| SHEET LIST TABLE |                                 |
|------------------|---------------------------------|
| SHEET NUMBER     | SHEET TITLE                     |
| G001             | TITLE SHEET                     |
| V101             | EXISTING CONDITIONS PLAN        |
| C101             | SITE PLAN                       |
| C102             | GRADING PLAN                    |
| C103             | UTILITY PLAN                    |
| C104             | EROSION & SEDIMENT CONTROL PLAN |
| C501 - C503      | CIVIL DETAILS                   |
| E-1              | PHOTOMETRIC PLAN                |
| A2.1             | ELEVATIONS                      |



DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

PROJECT INFO

1. PEER/ENG. REVIEW 7/30/21  
REV DESCRIPTION DATE

| ZONING TABLE            |  |                 |
|-------------------------|--|-----------------|
| ZONE                    | IL (LIMITED INDUSTRIAL)                      |                 |
| PROPOSED USE            | WAREHOUSING AND STORAGE                      |                 |
| DIMENSIONAL CONTROLS    | REQUIRED                                     | PROPOSED        |
| MIN. AREA (SF)          | 40,000                                       | 135,678±        |
| MAX. DENSITY (DU/AC)    | N/A  | N/A             |
| MIN. FRONTAGE (FT)      | 100  | 241.56          |
| MIN. WIDTH (FT)         | 100  | 237.1           |
| FRONT YARD SETBACK (FT) | 60   | 60              |
| SIDE YARD SETBACK (FT)  | 30   | 10*             |
| REAR YARD SETBACK (FT)  | 30(3)  | 60              |
| MAX. STORIES            | 4  | 1               |
| MAX. HEIGHT             | 45   | 54*             |
| MAX. LOT COVERAGE (%)   | 35   | 43*             |
| OPEN SPACE              | N/A  | 13% (17,638 SF) |
| PARKING                 | 1 PER 1,200 SF = 49                          | 53              |
| ACCESSIBLE PARKING      | 51-75 SPACES REQUIRES 3<br>ACCESSIBLE SPACES | 3               |

FOOTNOTES:

3. WHERE ABUTTING A RESIDENTIAL OR MULTI-FAMILY DISTRICT, SEE SECTION VI-B(12) FOR ADDITIONAL REQUIREMENTS.

\*VARIANCE GRANTED BY THE ZONING BOARD OF APPEALS ON JULY 28, 2021.

#### LOCUS TITLE INFORMATION

33 DANTON DRIVE  
OWNER: 33 DANTON DRIVE, LLC  
DEED REFERENCE: BK. 16259 PG. 270  
PLAN REFERENCE: 17872 (2018)  
ASSESSORS: PARCEL ID 412-131-6AA

STAMP:

TITLE SHEET

SHEET NAME:

**G001**

SHT NO:

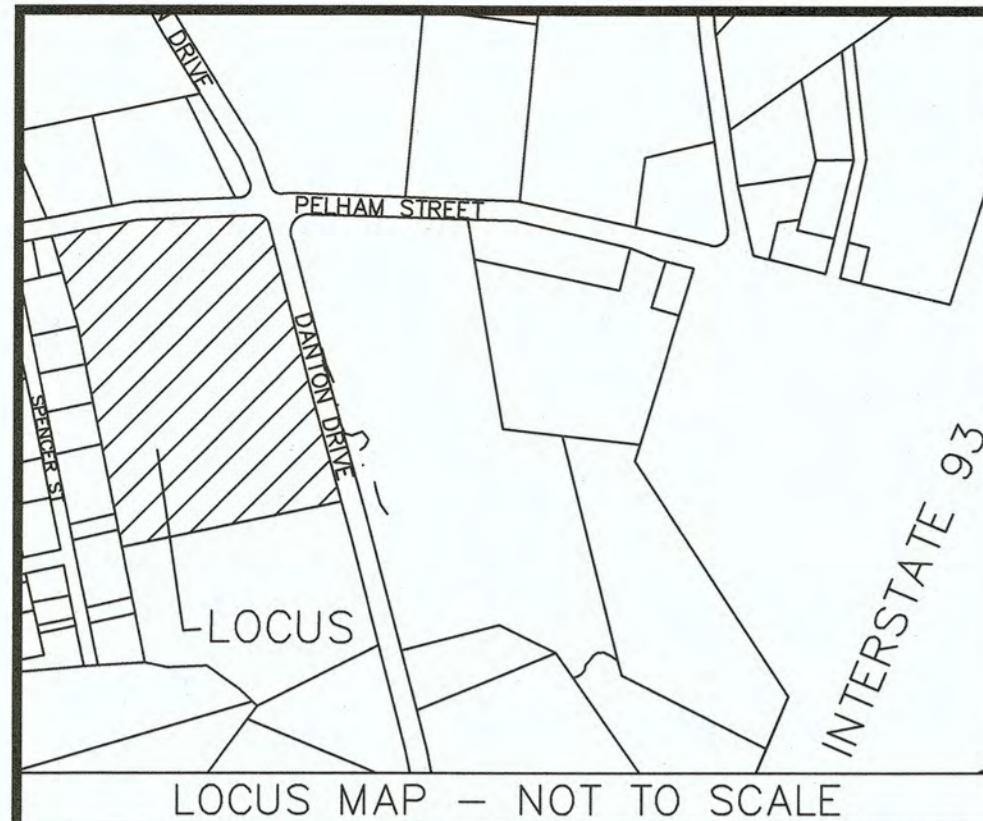
DR BY: MH

CHK BY: SS

PROJ NO: 2020-041

DATE: 6/02/2021

SCALE: NTS



N/F  
FMX REALTY LLC  
31 DANTON DRIVE  
MAP 412, BLOCK 131, LOT 5D  
1 STORY INDUSTRIAL

N/F  
GARY & TINA HEANEY  
58 SPENCER STREET  
MAP 412, BLOCK 131,  
LOT 6  
1 STORY RESIDENTIAL

N/F  
CHRISTOPHER GRIER  
60 SPENCER STREET  
MAP 412, BLOCK 131,  
LOT 7  
1 STORY RESIDENTIAL

N/F  
THOMAS WHITTAKER  
62 SPENCER STREET  
MAP 412, BLOCK 131,  
LOT 9  
UNDEVELOPED LAND

N/F  
CITY OF METHUEN  
64 SPENCER STREET  
MAP 412, BLOCK 131,  
LOT 10  
UNDEVELOPED LAND

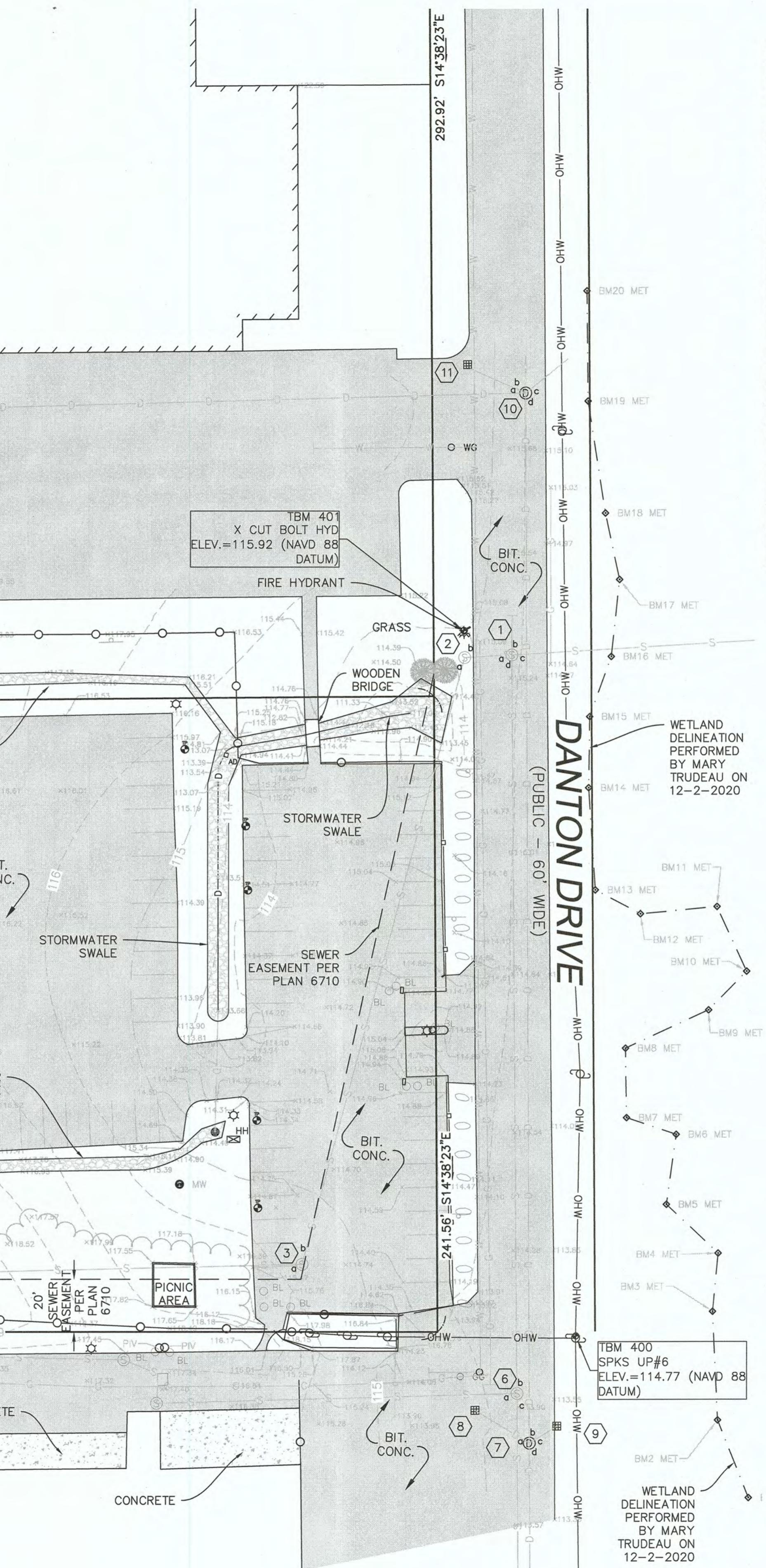
GRASS

TBM 402  
X CUT BOLT LIGHT POLE  
ELEV.=115.92 (NAVD 88  
DATUM)

TOTAL LOT  
AREA:  
135,678± SF  
3.115± ACRES

N/F  
192 PELHAM ST LLC  
35 DANTON DRIVE  
MAP 412, BLOCK 131, LOT 5D  
1 STORY INDUSTRIAL

REVISIONS



| UTILITY TABLE |                        |        |  |
|---------------|------------------------|--------|--|
| NO.           | TYPE                   | RIM    | INVERTS  |
| ①             | SANITARY SEWER MANHOLE | 115.20 | a)101.65 24"<br>b)101.50 12"<br>c)100.50 24"<br>d)104.45 12" |
| ②             | SANITARY SEWER MANHOLE | 114.88 | a&b)101.58 24"   |
| ③             | SANITARY SEWER MANHOLE | 114.88 | a&b)102.21 24"   |
| ④             | SANITARY SEWER MANHOLE | 124.98 | a&b)103.05 24"(calculated)                                   |
| ⑤             | SANITARY SEWER MANHOLE | 124.43 | a&b)103.08 24"(calculated)                                   |
| ⑥             | SANITARY SEWER MANHOLE | 113.80 | a)103.30 8"<br>b&c)102.50 12"                                |
| ⑦             | STORM DRAINAGE MANHOLE | 113.67 | a)109.59 12"<br>b)109.37 18"<br>c)109.62 12"<br>d)109.42 18" |
| ⑧             | CATCH BASIN            | 113.21 | a)109.61 12"   |
| ⑨             | CATCH BASIN            | 113.31 | a)109.62 12"   |
| ⑩             | STORM DRAINAGE MANHOLE | 113.80 | a)111.75 12"<br>b)111.50 12"<br>c)111.45 12"<br>d)111.35 18" |
| ⑪             | CATCH BASIN            | ##     | a)111.70 12"   |

| LEGEND |                        |
|--------|------------------------|
| —CS    | COMBINED SEWER & DRAIN |
| —S     | SANITARY SEWER         |
| —D     | DRAIN LINE             |
| —W     | WATER LINE             |
| —E     | ELECTRIC LINE          |
| —G     | GAS LINE               |
| —T     | TELEPHONE LINE         |
| —ST    | STEAM LINE             |
| ◎      | SANITARY MANHOLE       |
| ◎      | DRAIN MANHOLE          |
| ◎      | UNKNOWN MANHOLE        |
| ◎      | ELECTRIC MANHOLE       |
| ◎      | TELEPHONE MANHOLE      |
| ■      | CATCH BASIN            |
| PL     | DECIDUOUS TREE         |
| PL     | CONIFEROUS TREE        |
| PL     | PLANTER                |
| WG     | FIRE HYDRANT           |
| WG     | WATER GATE             |
| GG     | GAS GATE               |
| OPM    | WASTE BASKET           |
| MB     | PARKING METER          |
| TS     | MAIL BOX               |
| TS     | TRAFFIC SIGNAL         |
| HH     | LIGHT POLE             |
| HH     | HANDHOLE               |
| xxx    | SPOT GRADE             |

MERIDIAN OF THE MASSACHUSETTS  
GRID COORDINATE SYSTEM (NAD 83)

WE HEREBY CERTIFY:

THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BETWEEN AUGUST, 2020 AND OCTOBER, 2020, BY DESIGN CONSULTANTS, INC. (DCI).

BOUNDARY LINES AND EASEMENTS FOR THE SUBJECT PROPERTY ARE PER DEED AND PLAN RESEARCH BY DESIGN CONSULTANTS, INC. THIS PLAN WAS PREPARED WITHOUT A FULL TITLE EXAMINATION, UNRECORDED EASEMENTS AND/OR ADVERSE CLAIMS BY OTHERS ARE NOT SHOWN.

LOCATION OF UNDERGROUND UTILITIES FEATURES SHOWN ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY: FIELD SURVEY, AERIAL PHOTOGRAPHY, PLANS OF RECORD, INFORMATION FURNISHED BY THE RESPECTIVE UTILITY COMPANIES, AND OTHER AVAILABLE SOURCES. OVERHEAD WIRES DEPICTED HEREON ARE SHOWN FOR GENERAL LOCATION PURPOSES ONLY. ACTUAL WIDTH, TYPE, NUMBER, AND HEIGHT SHOULD BE FIELD VERIFIED PRIOR TO ANY SITE DESIGN WORK. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE PREMISES SURVEYED. CALL DIGSAFE PRIOR TO EXCAVATION.

KEVIN J. KIERMAN  
12/7/2020

PROFESSIONAL LAND SURVEYOR FOR DESIGN CONSULTANTS, INC.  
12/7/2020

DATE:

| PLAN REFERENCES:      | LOCUS TITLE INFORMATION           |
|-----------------------|-----------------------------------|
| PLAN NO. 711 (1968)   | 33 DANTON DRIVE                   |
| PLAN NO. 8810 (1982)  | OWNER: JBX REALTY, LLC            |
| PLAN NO. 17581 (2017) | DEED REFERENCE: BK. 15735 PG. 995 |
| PLAN NO. 17610 (2017) | PLAN REFERENCE: 17872 (2018)      |
| PLAN NO. 17678 (2017) | ASSESSORS: PARCEL ID 412-131-6AA  |
| PLAN NO. 17704 (2017) |                                   |
| PLAN NO. 17872 (2018) |                                   |
| PLAN NO. 17887 (2019) |                                   |

0 30 60 100  
SCALE: 1" = 30'

## GENERAL NOTES

ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE CITY OF METHUEN, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.

CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.

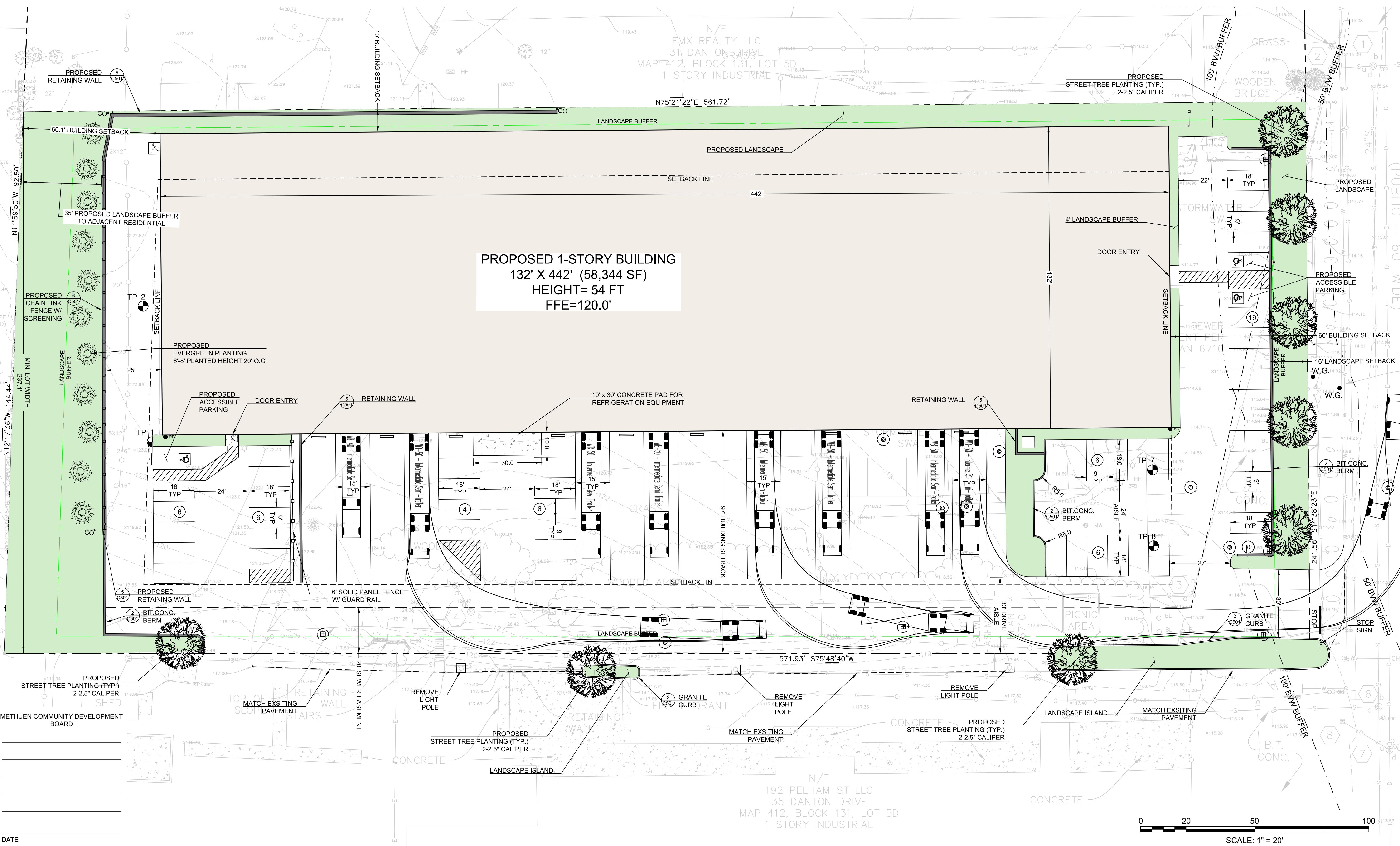
AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

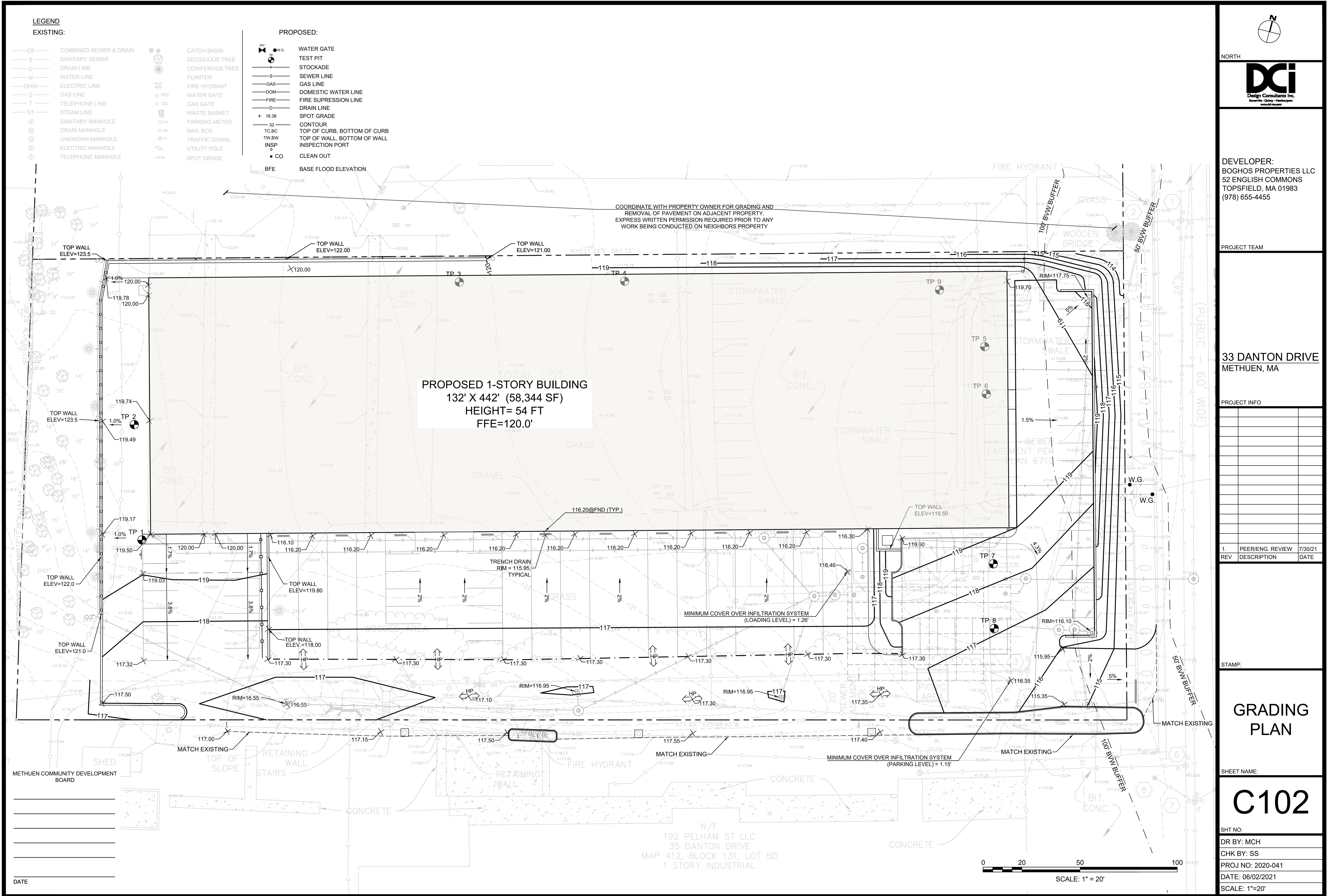
## SHEET NOTES

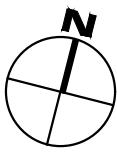
ALL RADII SHALL BE 3' UNLESS OTHERWISE SHOWN

N

NORTH





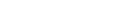


NORTI



## LEGEND

## EXISTING:

|       |                        |   |                 |   |                             |
|-------|------------------------|---|-----------------|---|-----------------------------|
| —CS—  | COMBINED SEWER & DRAIN |  | CATCH BASIN     |   | WATER GATE                  |
| —S—   | SANITARY SEWER         |  | DECIDUOUS TREE  |    | TEST PIT                    |
| —D—   | DRAIN LINE             |  | CONIFEROUS TREE |    | STOCKADE                    |
| —W—   | WATER LINE             |   | PLANTER         |    | SEWER LINE                  |
| —OHW— | ELECTRIC LINE          |  | FIRE HYDRANT    |    | GAS LINE                    |
| —G—   | GAS LINE               | ○ WG  | WATER GATE      |    | DOMESTIC WATER LINE         |
| —T—   | TELEPHONE LINE         | ○ GG  | GAS GATE        |    | FIRE SUPPRESSION LINE       |
| —ST—  | STEAM LINE             |  | WASTE BASKET    |    | DRAIN LINE                  |
| ⑤     | SANITARY MANHOLE       | ○ PM  | PARKING METER   | +   | SPOT GRADE                  |
| ⑥     | DRAIN MANHOLE          | □ MB  | MAIL BOX        | — 32 —  | CONTOUR                     |
| ⑦     | UNKNOWN MANHOLE        | ○ TS  | TRAFFIC SIGNAL  | TC,BC   | TOP OF CURB, BOTTOM OF CURB |
| ⑧     | ELECTRIC MANHOLE       | ○   | UTILITY POLE    | TW,BW   | TOP OF WALL, BOTTOM OF WALL |
| ⑨     | TELEPHONE MANHOLE      | × 20.85   | SPOT GRADE      | INSP  | INSPECTION PORT             |
|       |                        |   |                 | ○   | CLEAN OUT                   |
|       |                        |   |                 | ● CO  |                             |

## UTILITY & DRAINAGE NOTES

1. THE LOCATION OF AND SIZE OF BURIED UTILITIES ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY BY DESIGN CONSULTANTS INC., PLANS OF RECORD & PLANS FROM RESPECTIVE UTILITY COMPANIES.
2. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
3. CONTACT DIG-SAFE AT 1-888-344-7233 OR 1-800-322-4844 AT LEAST 72 HOURS PRIOR TO EXCAVATION.
4. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. FINAL DEMARCACTION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
6. ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER. SEE MECHANICAL ENGINEERING PLANS.
7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND RECORDING THE EXACT LOCATION OF ALL PROPOSED UTILITY CONNECTIONS.
8. THE CONTRACTOR SHALL SUPPLY ALL PIPING FOR THE UTILITY SERVICES AND SHALL SUPPLY ALL ASSOCIATED APPURTENANCES, FITTING AND VALVES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL PERFORM ALL WET AND DRY TAPS AS PART OF HIS/HER CONTRACT.
9. PRIOR TO CONSTRUCTION OF NEW SANITARY SEWER AND STORM DRAIN LINES, CONTRACTOR SHALL PERFORM TEST PITS AT LOCATIONS OF EXISTING LATERAL CONNECTIONS FOR SANITARY SEWER AND STORM DRAINS TO CONFIRM INVERTS OF LATERALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER IMMEDIATELY.
10. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
11. TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW PATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE CITY OF METHUEN MUNICIPAL STANDARDS.
12. DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
14. NO DRY UTILITY DESIGN IS SHOWN. CONTRACTOR RESPONSIBLE FOR COORDINATING WITH RESPECTIVE UTILITY COMPANY'S, ELECTRICAL AND PLUMBING ENGINEERS AS NECESSARY TO PROVIDE BUILDING SERVICES

**PIPE MATERIALS:**

SANITARY SEWER: 6" PVC ASTM D3034-SDR 35.

WATER: DOMESTIC: 2" COPPER TYPE K TUBING

FIRE: 6" DUCTILE IRON PIPE (CLASS 52)

ALL WATER LINES SHALL HAVE A MINIMUM OF 5 FEET OF COVER.

SITE DRAINAGE: HDPE PIPE, SIZE AS NOTED.

ALL PIPING WITHIN 10 FEET OF THE OUTSIDE FACE OF FOUNDATION ARE SUBJECT TO PLUMBING CODE.

SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER 520 CMR 14.00 EXCAVATION AND TRENCH SAFETY. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL LIMITED TO 50'.

## PIPE MATERIALS

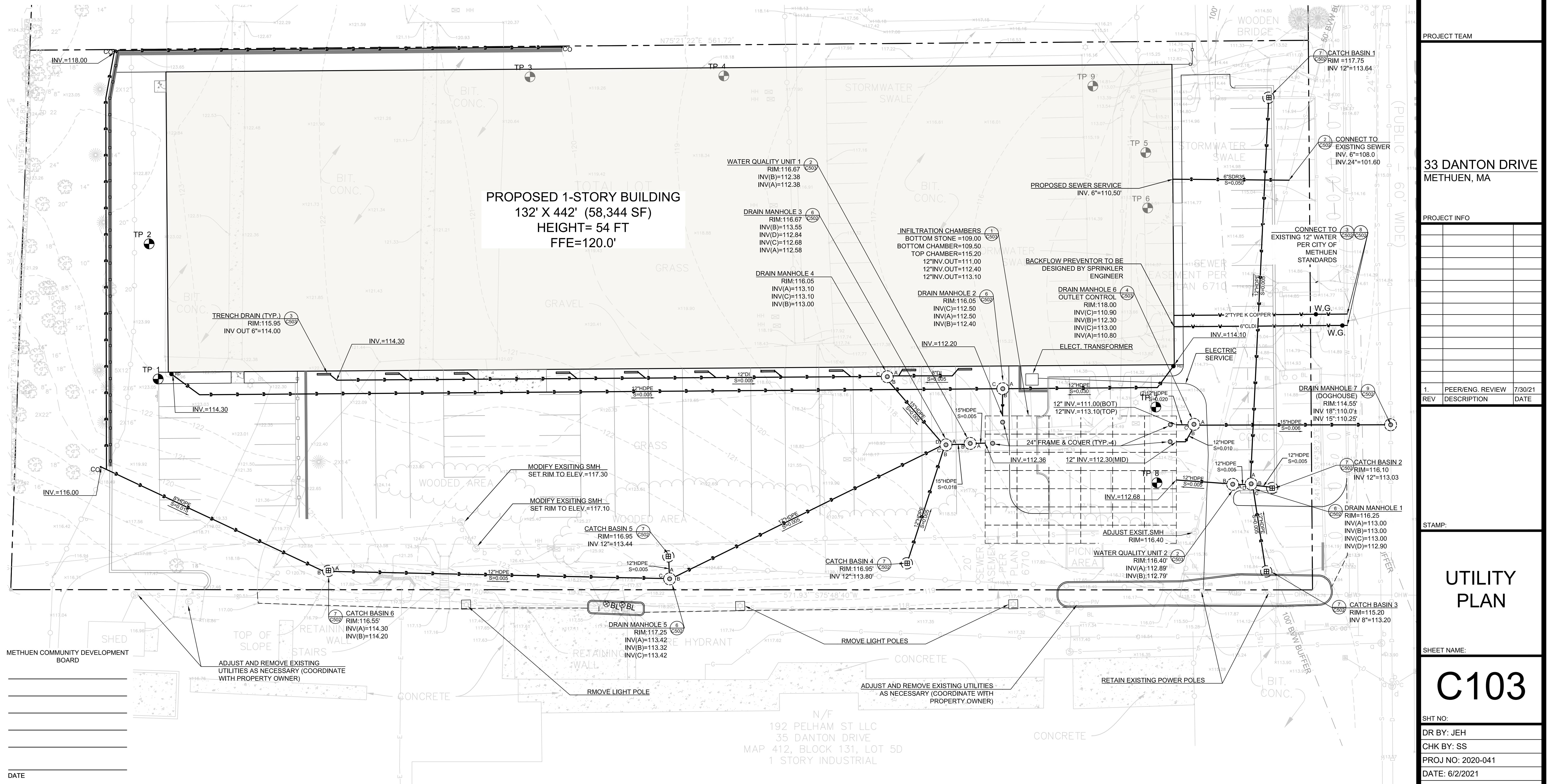
SANITARY SEWER: 6" PVC ASTM D3034-SDR 35.

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DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

## PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

## PROJECT INFO

|     |                  |         |
|-----|------------------|---------|
| 1.  | PEER/ENG. REVIEW | 7/30/21 |
| REV | DESCRIPTION      | DATE    |

**C103**

SHT NO:  
DR BY: JEH  
CHK BY: SS  
PROJ NO: 2020-041  
DATE: 6/2/2021  
SCALE: 1"=20'

## EROSION AND SEDIMENT CONTROL NOTES

- ALL WORK PERFORMED AS PART OF THIS PROJECT SHALL CONFORM TO THE STANDARDS OF THE TOWN OF MELVIN, DEPT. OF PUBLIC WORKS AND ANY OTHER AGENCY WITH AUTHORITY IN THIS AREA.
- CONTRACTOR TO MAINTAIN WORK AREA IN A CLEAN CONDITION. NO CONSTRUCTION DEBRIS SHALL BE ALLOWED TO ACCUMULATE WITHIN THE WORKSITE AND NO DIRT, GRAVEL, ETC. SHALL BE ALLOWED TO ACCUMULATE ON THE PUBLIC RIGHT-OF-WAY.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL INSTALL SILT SACKS IN ALL CATCH BASINS DOWNGRADE OF SITE PRIOR TO COMMENCEMENT OF WORK
- MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
- THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARINGS AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
- MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
- DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
- INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES OR THE 2008 EPA'S CONSTRUCTION GENERAL PERMIT.
- PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT ARE CONSIDERED A PART OF THE PROJECT).
- COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES  $\frac{1}{2}$  TO  $\frac{1}{2}$  THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN  $\frac{1}{2}$  TO  $\frac{1}{2}$  THE HEIGHT.
- SEDIMENT FROM SEDIMENT TRAPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT.
- BMP'S TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMP'S DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE BOARD. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
- SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
- FOR ACTIVE CONSTRUCTION AREAS SUCH AS BORROW OR STOCKPILE AREAS, ROADWAY IMPROVEMENTS AND AREAS WITHIN 50 FEET OF A BUILDING UNDER CONSTRUCTION, A PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED AND MAINTAINED TO CONTAIN SOIL.
- A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIST POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
- ON THE CUT SIDE OF ROADS, DITCHES SHALL BE STABILIZED IMMEDIATELY WITH ROCK RIP-RAP OR OTHER NON-ERODIBLE LINERS, OR WHERE APPROPRIATE, VEGETATIVE MEASURES SUCH AS HYDROSEEDING OR JUTE MATTING.
- PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER. DURING THE PEAK SUMMER MONTHS AND IN THE PALE AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
- ALL SLOPES STEEPER THAN 3:1 (H:V, 33.3%), AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST NOT BE DISTURBED.
- TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
- PREVENT OFF-SITE VEHICLE TRACKING OF SEDIMENTS.
- DUST SHALL BE CONTROLLED AT THE SITE.
- ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
- IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUNDCOVER PRACTICES.
- NO STOCKPILING SHALL TAKE PLACE NEAR DANTON DRIVE OR THE 100' WETLAND BUFFER.

## SOIL CHARACTERISTICS

THE NRCS WEB SOIL SURVEY IDENTIFY THE EXISTING SITE SOILS AS BEING 'HINCKLEY LOAMY SAND'. SITE SPECIFIC SOIL TEST PITS CONFIRM THE SOILS TO BE LOAMY SAND.

## SEQUENCE OF MAJOR ACTIVITIES

- DEMOLISH EXISTING BUILDING
- INSTALL INLET SEDIMENT BARRIERS
- REMOVE EXISTING PAVEMENT AND OTHER MISC STRUCTURES.
- CONSTRUCT BUILDING AND UTILITIES.
- CONSTRUCT PAVEMENT DRAINAGE SYSTEMS AND FINAL STABILIZATION OF SITE.
- CONSTRUCT LANDSCAPING.
- REMOVE EROSION CONTROLS.

## EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION: AN AREA SHALL BE CONSIDERED STABILIZED ONCE ONE OF THE FOLLOWING HAS OCCURRED:

- A MINIMUM OF 85% VEGETATIVE GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3' OF NON-ERODIBLE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED

3. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN THIRTY (30) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 90 DAYS OF INITIAL DISTURBANCE. ALL CUT AND FILL SLOPES AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING GRADE. STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING.
- MULCHING.
- JUTE MATTING.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH HAY BAILE BARRIERS AND/OR SILT FENCES. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. ALL CATCH BASINS WILL BE COVERED WITH A GEOTEXTILE FABRIC PRIOR TO THE BASE PAVEMENT COURSE BEING PLACED.

## OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL EGRESSES TO THE SITE AND MAINTAINED FOR THE DURATION OF CONSTRUCTION.

## TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE INLET SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRAVING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN THIRTY (30) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAY BAILE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

METHUEN COMMUNITY DEVELOPMENT BOARD

## EROSION & SEDIMENT CONTROL PLAN

## SHEET NAME:



**DCI**  
Design Consultants Inc.  
Somerville • Quincy • Newmarket  
www.dci-ma.com

**DEVELOPER:**  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

1. PEER/ENG. REVIEW 7/30/21  
REV DESCRIPTION DATE

**EROSION & SEDIMENT CONTROL PLAN**

SHEET NAME:

**C104**

SHT NO:

DR BY: JEH

CHK BY: SS

PROJ NO: 2020-041

DATE: 6/2/2021

SCALE: 1"=40'



DEVELOPER:  
BOGHOS PROPERTIES LLC  
52 ENGLISH COMMONS  
TOPSFIELD, MA 01983  
(978) 655-4455

## PROJECT TEAM

**33 DANTON DRIVE**  
**METHUEN, MA**

## PROJECT INFO

|     |                  |        |
|-----|------------------|--------|
| 1.  | PEER/ENG. REVIEW | 7/30/2 |
| REV | DESCRIPTION      | DATE   |

# STAMP:

---

# SITE & GRADING DETAILS

SHEET NAME: \_\_\_\_\_

**C501**

---

SHT NO:

---

DR BY: JEH

---

CHK BY: SS

---

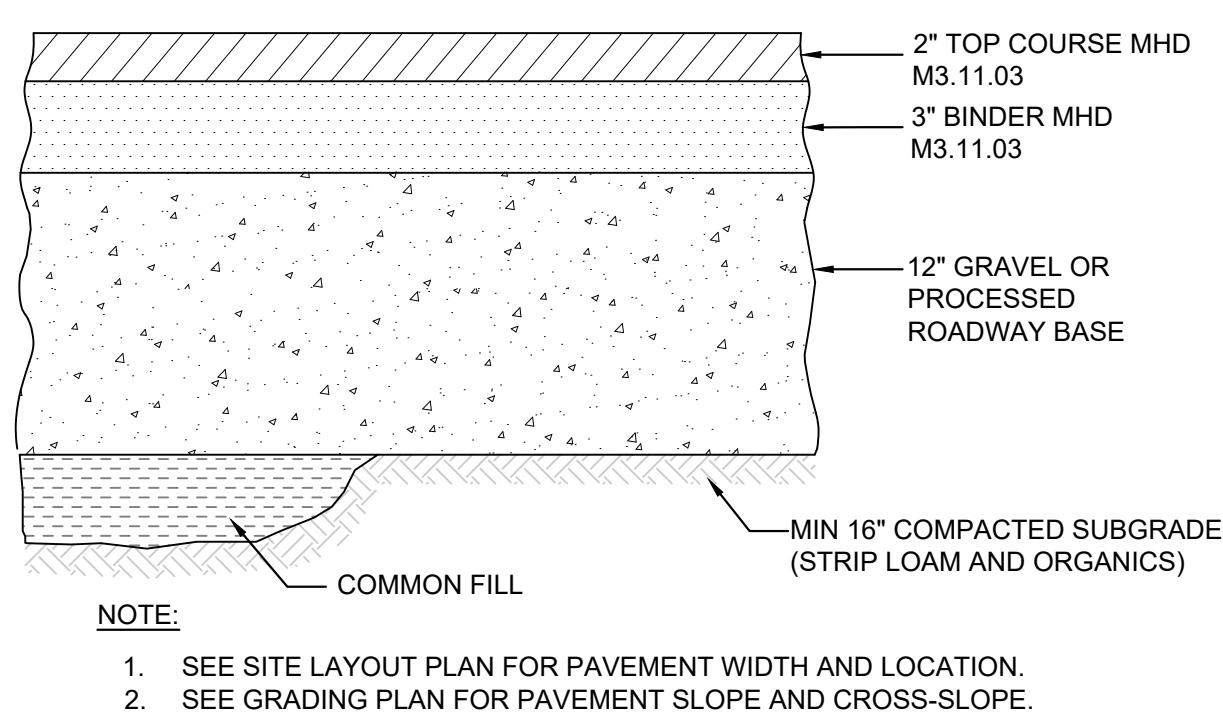
PROJ NO: 2020-041

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DATE: 06/20/2021

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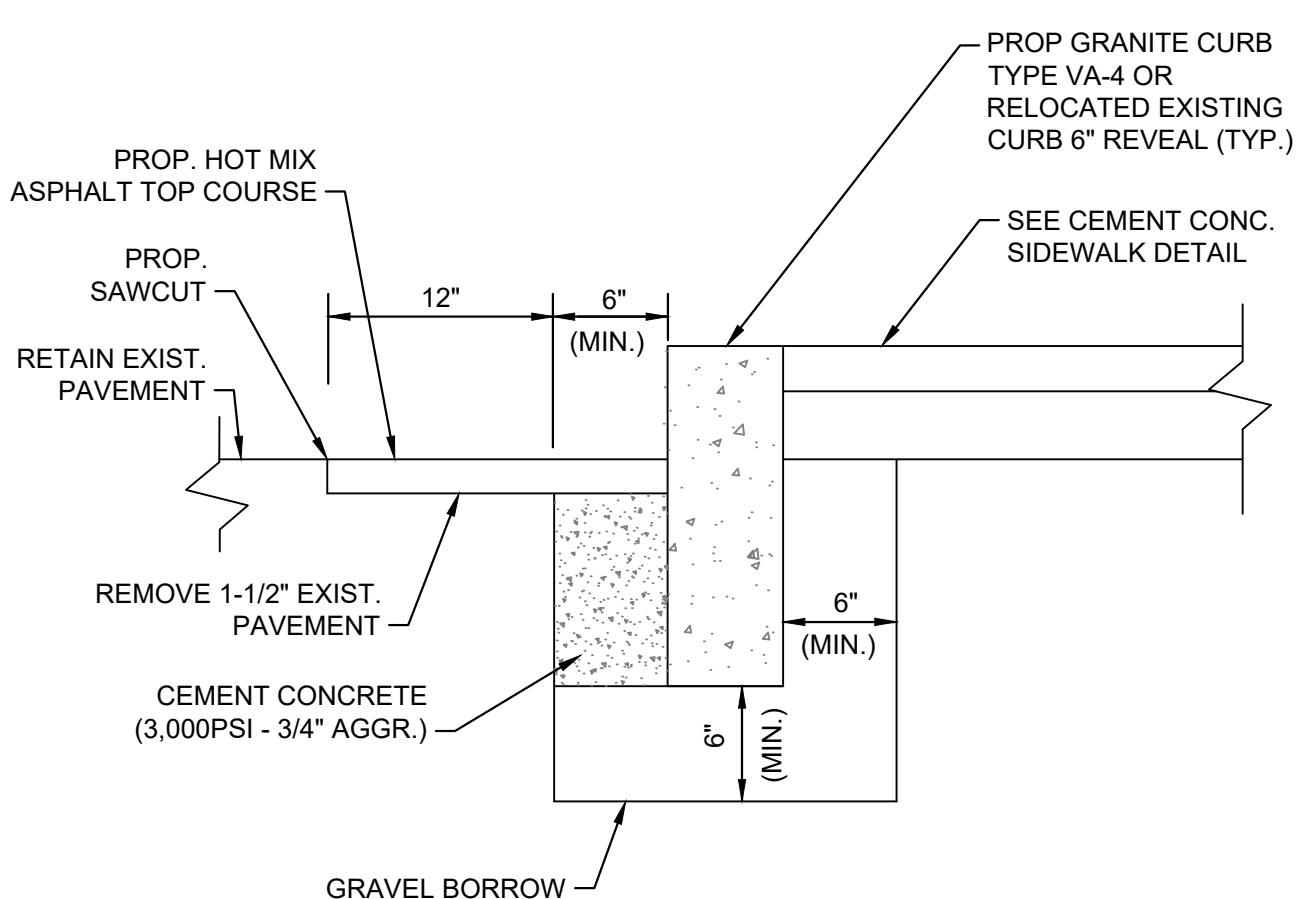
SCALE: NTS



# 1 BITUMINOUS CONCRETE PAVEMENT

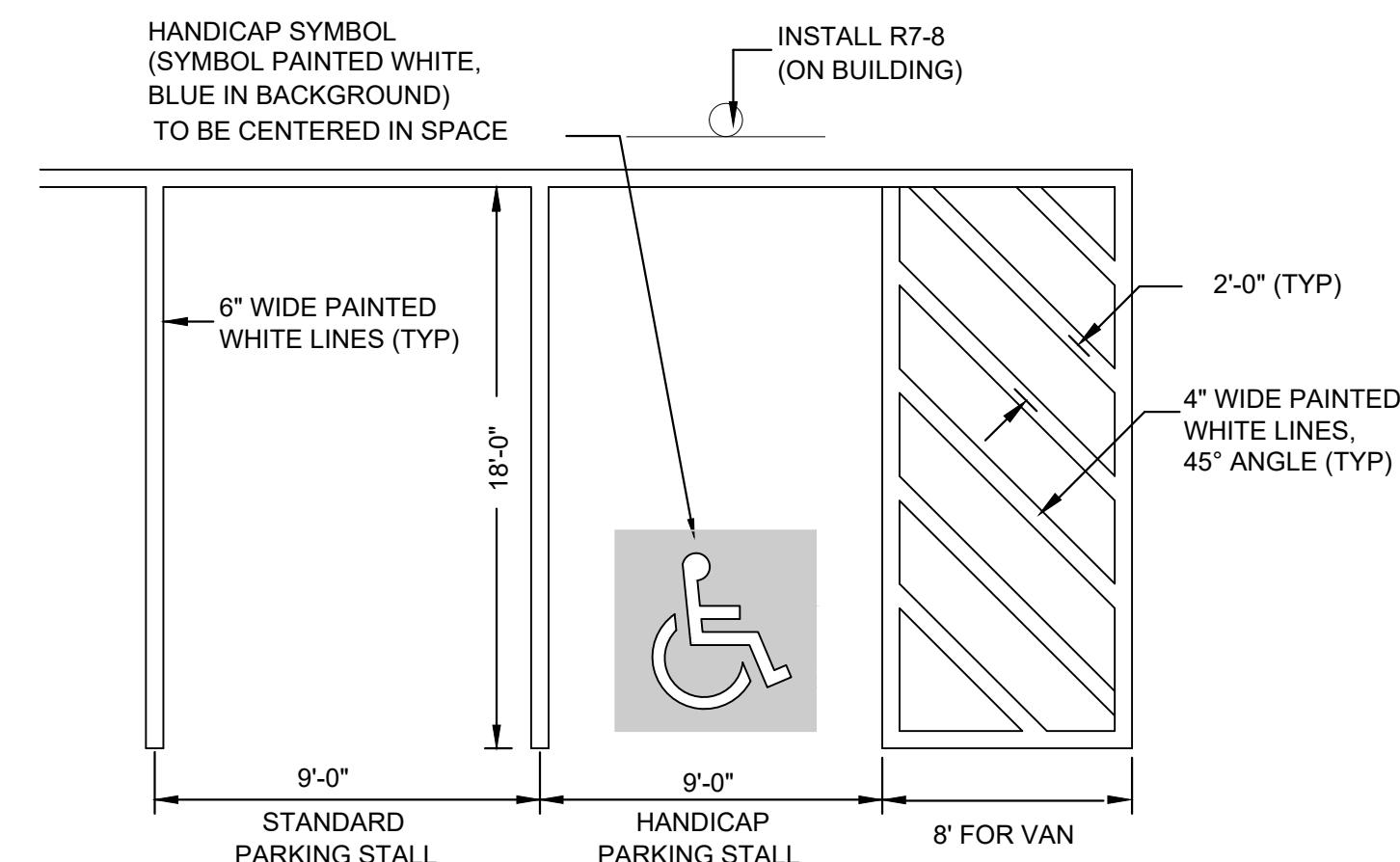
NOT TO SCALE

1. SEE SITE LAYOUT PLAN FOR PAVEMENT WIDTH AND LOCATION
2. SEE GRADING PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPES



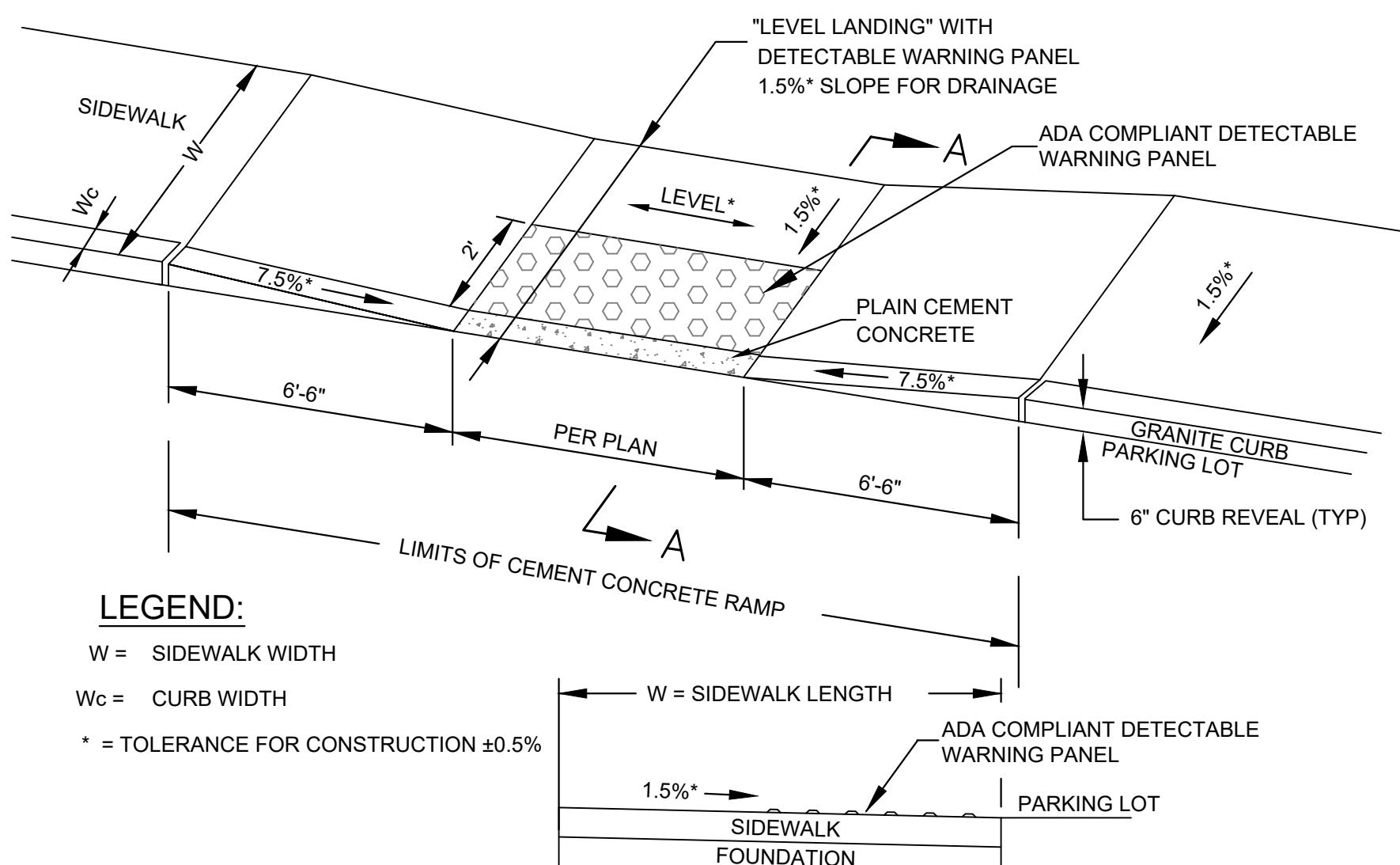
## 2 VERTICAL GRANITE CURB NOT TO SCALE

## 2 VERTICAL GRANITE CURB



**NOTE:**

1. ALL PAINT SHALL BE FAST DRYING WHITE TRAFFIC PAINT, MEET THE REQUIREMENTS OF AASHTO M248-TYPE N. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.



**4 CURB RAMP**  
NOT TO SCALE

W = SIDEWALK WIDTH

Wc = CURB WIDTH

\* = TOLERANCE FOR CONSTRUCTION  $\pm 0.5\%$

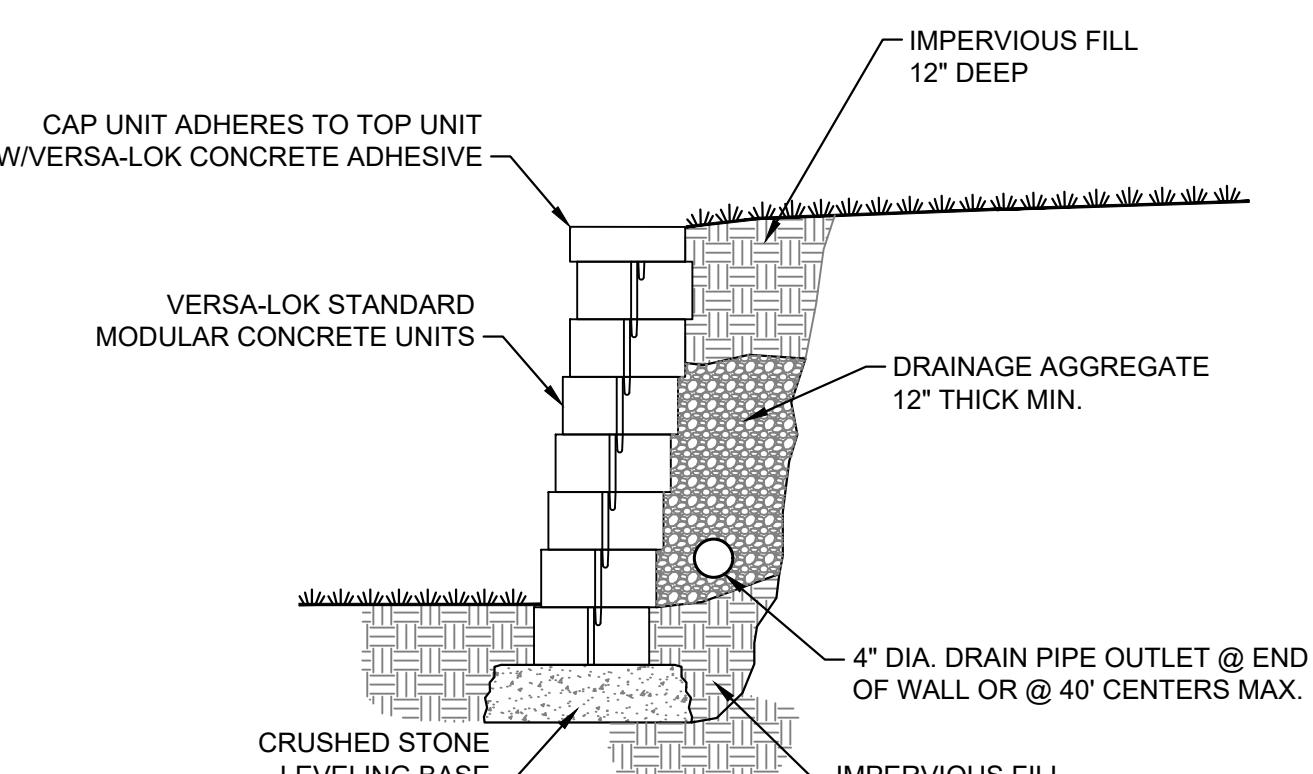
W = SIDEWALK LENGTH

ADA COMPLIANT DETECTABLE WARNING PANEL

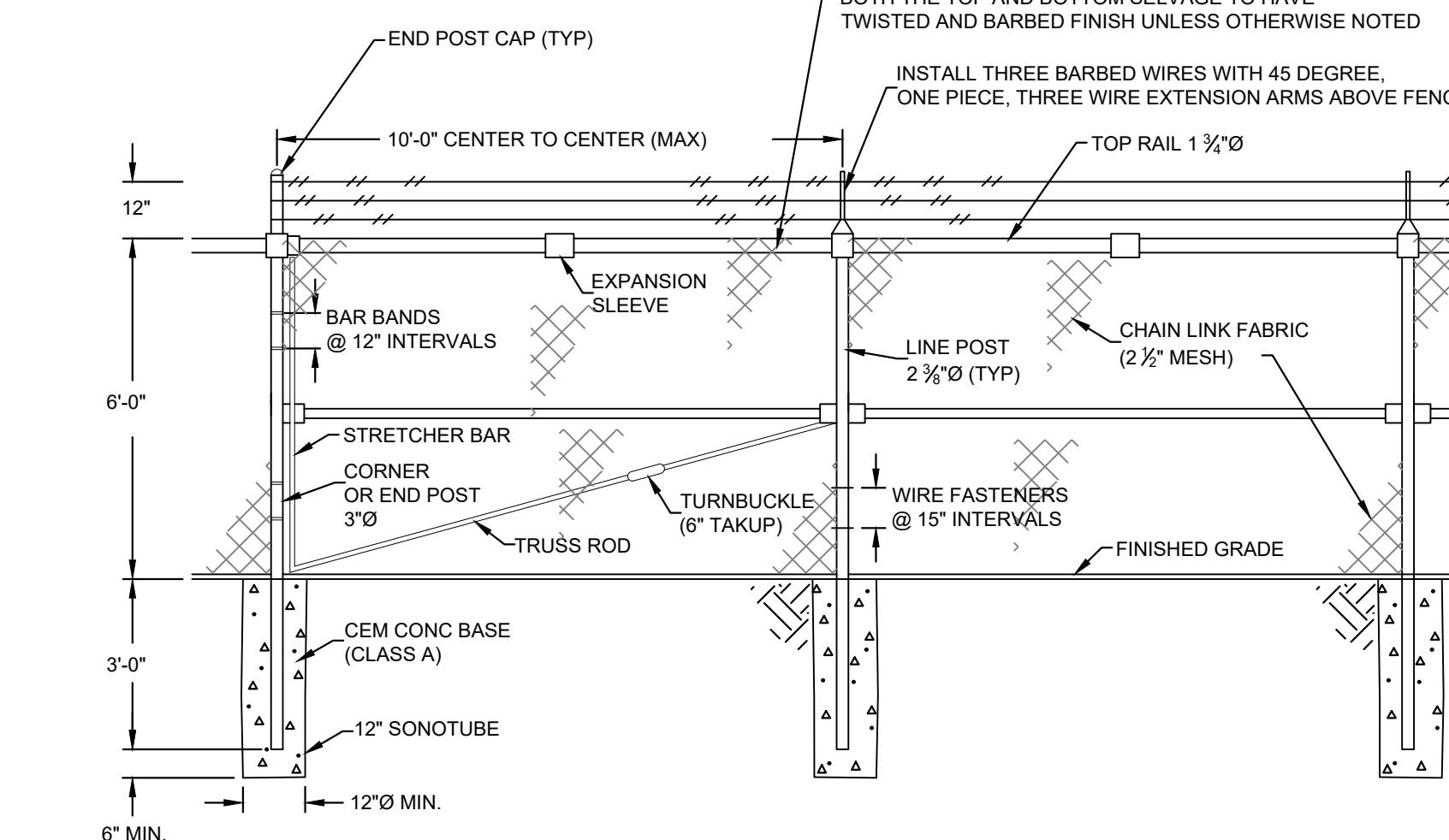
1.5%\*

PARKING LOT

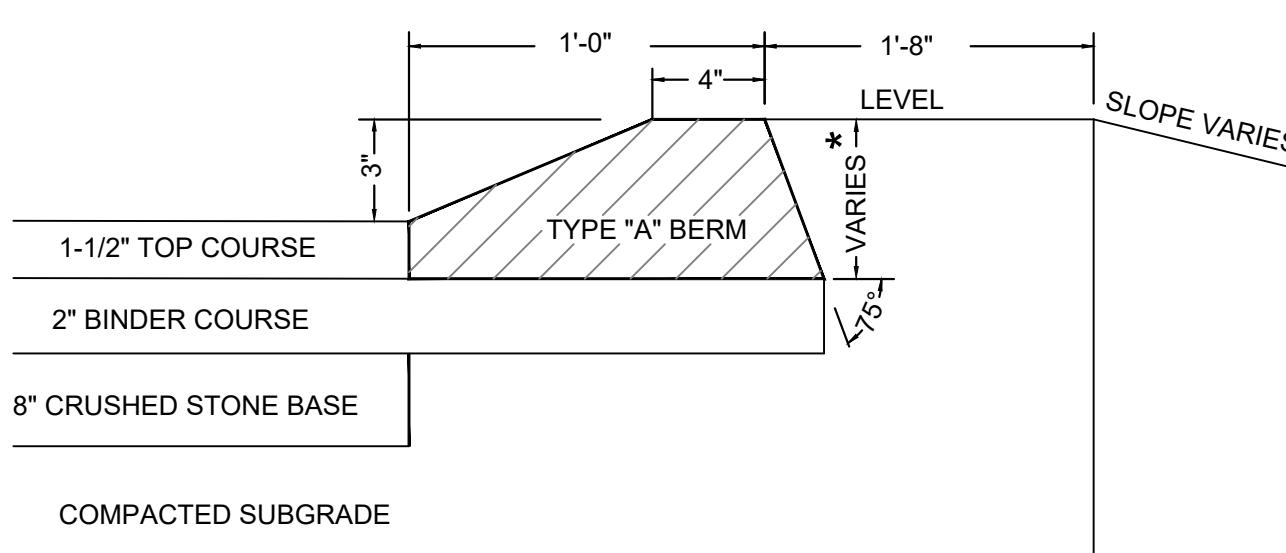
SIDEWALK



**5** RETAINING WALL  
NOT TO SCALE



**6 CHAIN LINK FENCE**  
NOT TO SCALE



## NOTES:

\* THIS DIMENSION VARIES WITH THE THICKNESS OF THE TOP COURSE AND SLOPE OF SHOULDER

## 7 HOT MIX ASPHALT BERM

## 7 HOT MIX ASPHALT BERM

DEVELOPER:  
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(978) 655-4455

PROJECT TEAM

33 DANTON DRIVE  
METHUEN, MA

PROJECT INFO

1. PEER/ENG. REVIEW 7/30/21  
REV. DESCRIPTION DATE

STAMP:

## UTILITY DETAILS

SHEET NAME:

**C502**

SHT NO:

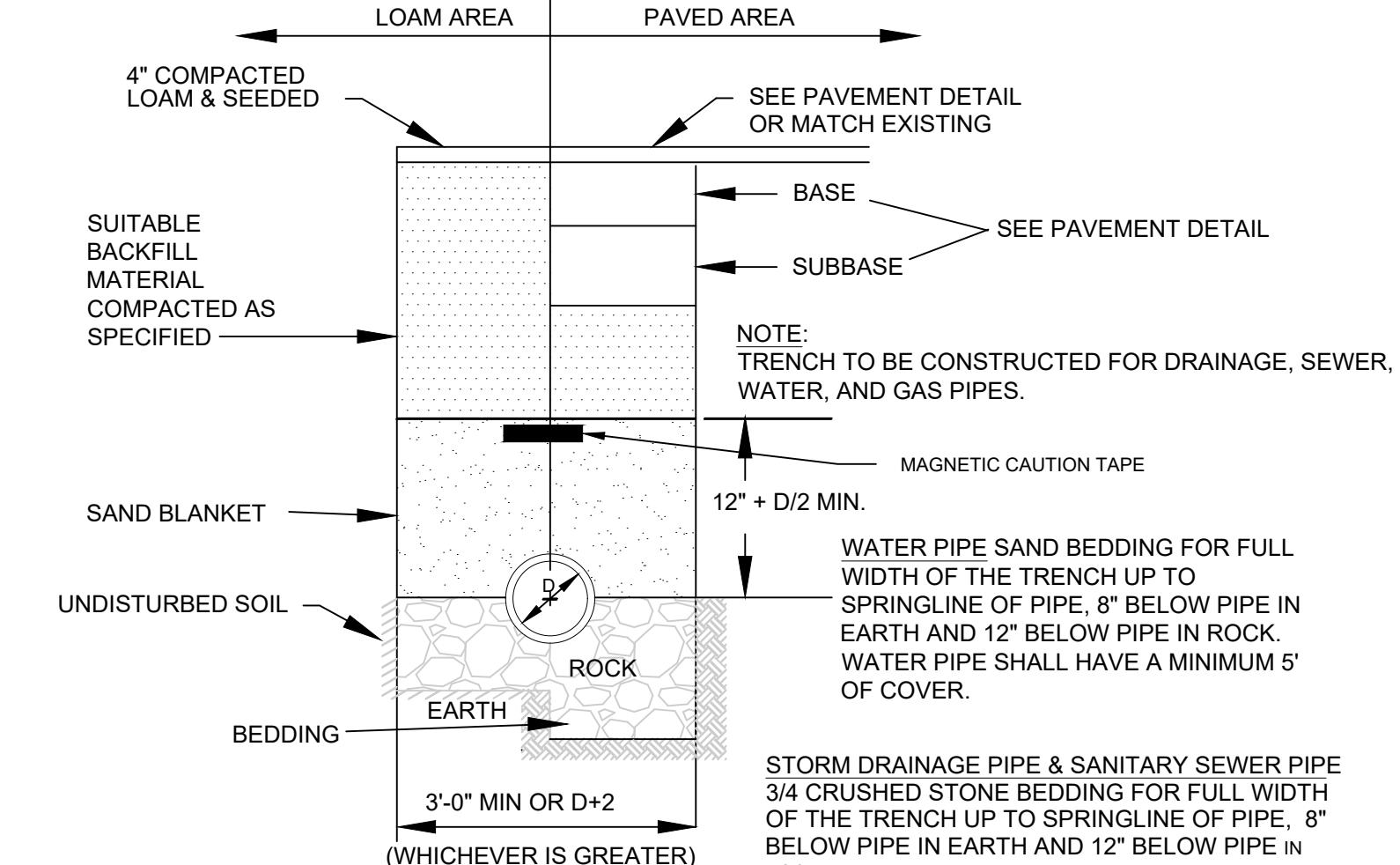
DR BY: JEH

CHK BY: SS

PROJ NO: 2020-041

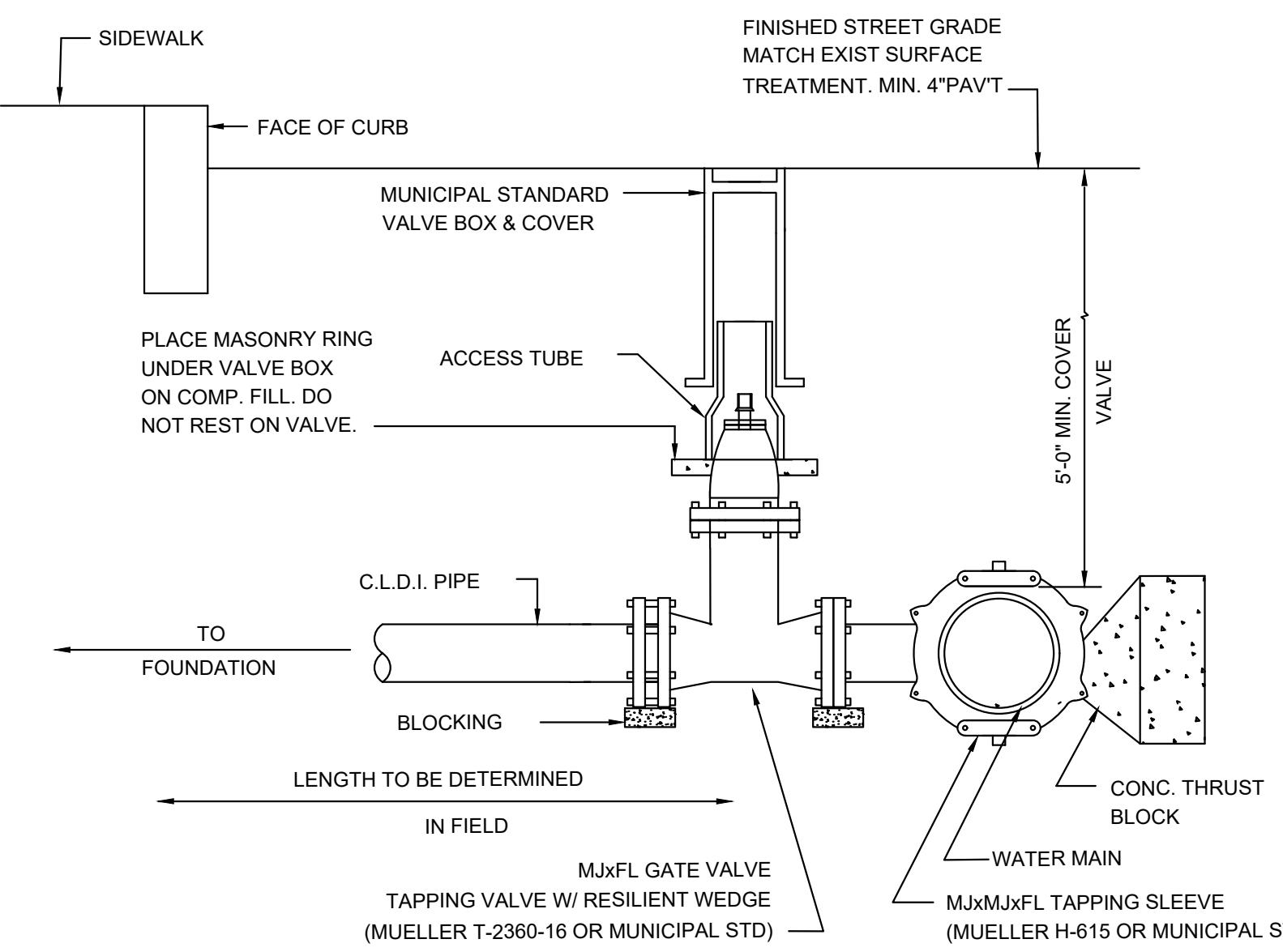
DATE: 06/02/2021

SCALE: NTS



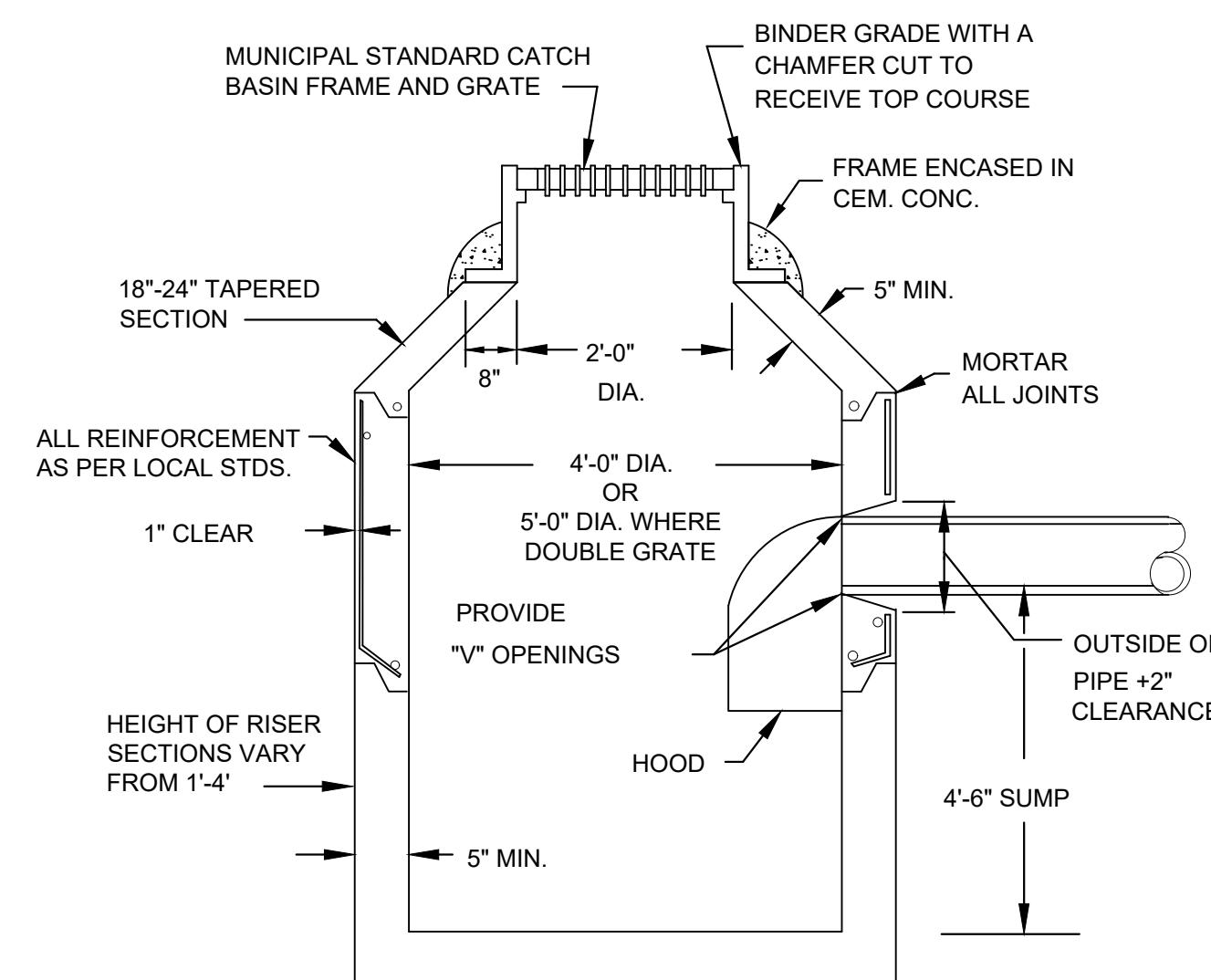
BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPAKTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPAKTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

### 1 UTILITY TRENCH

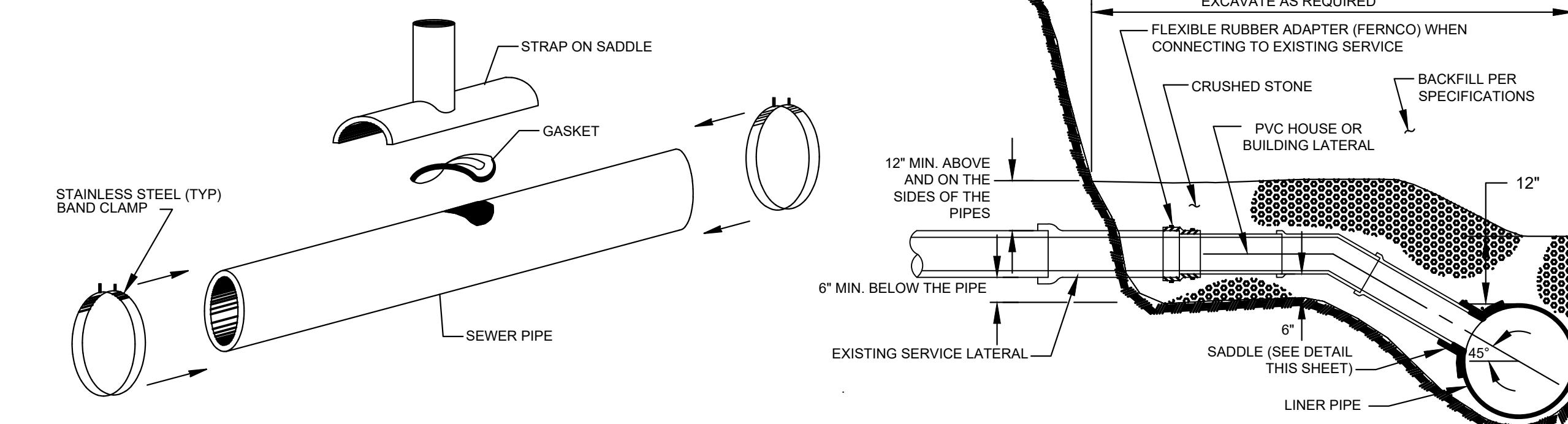


NOTE:  
1. ALL WATER DISTRIBUTION VALVES, FITTINGS, AND PIPING SHALL COMPLY WITH ALL MUNICIPAL STANDARDS.  
2. DETAIL UTILIZED FOR 4, 6, OR 8 INCH SERVICE PIPE.

### 3 WATER MAIN CONNECTION AT STREET MAIN

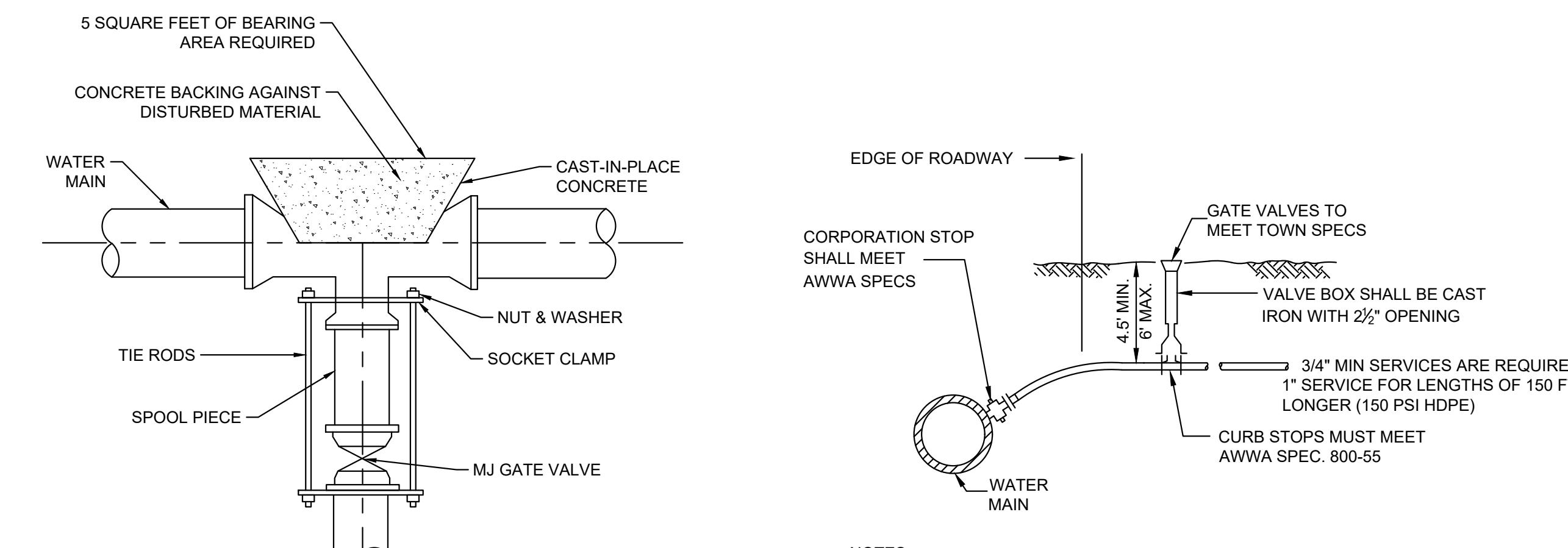


### 7 CB (CATCH BASIN)



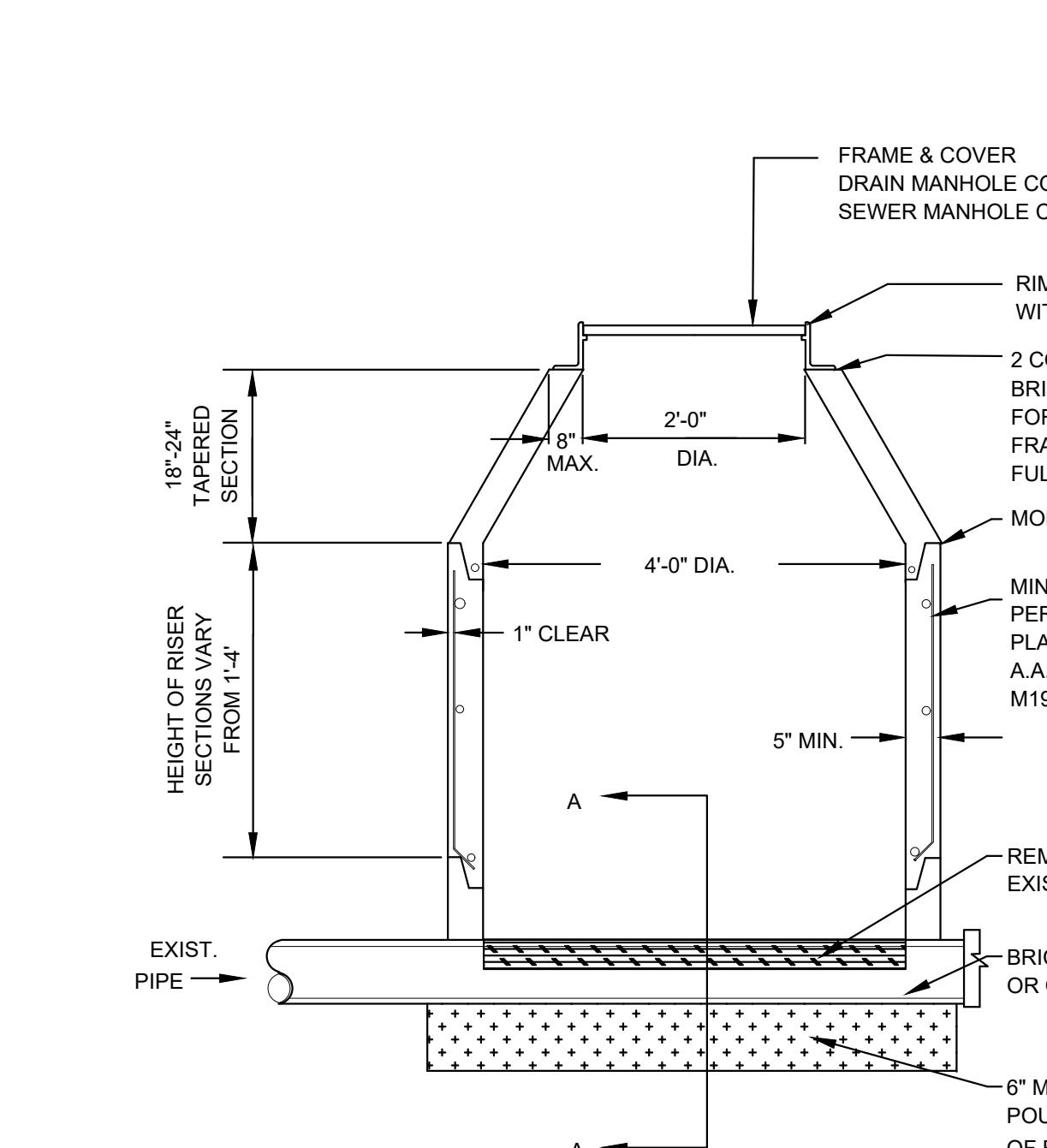
NOTES:  
1. REPLACE EXISTING SERVICE LINE TO EXTENT SHOWN ON PLAN/PROFILES AND AS SPECIFIED.

### 4 THRUST BLOCKING

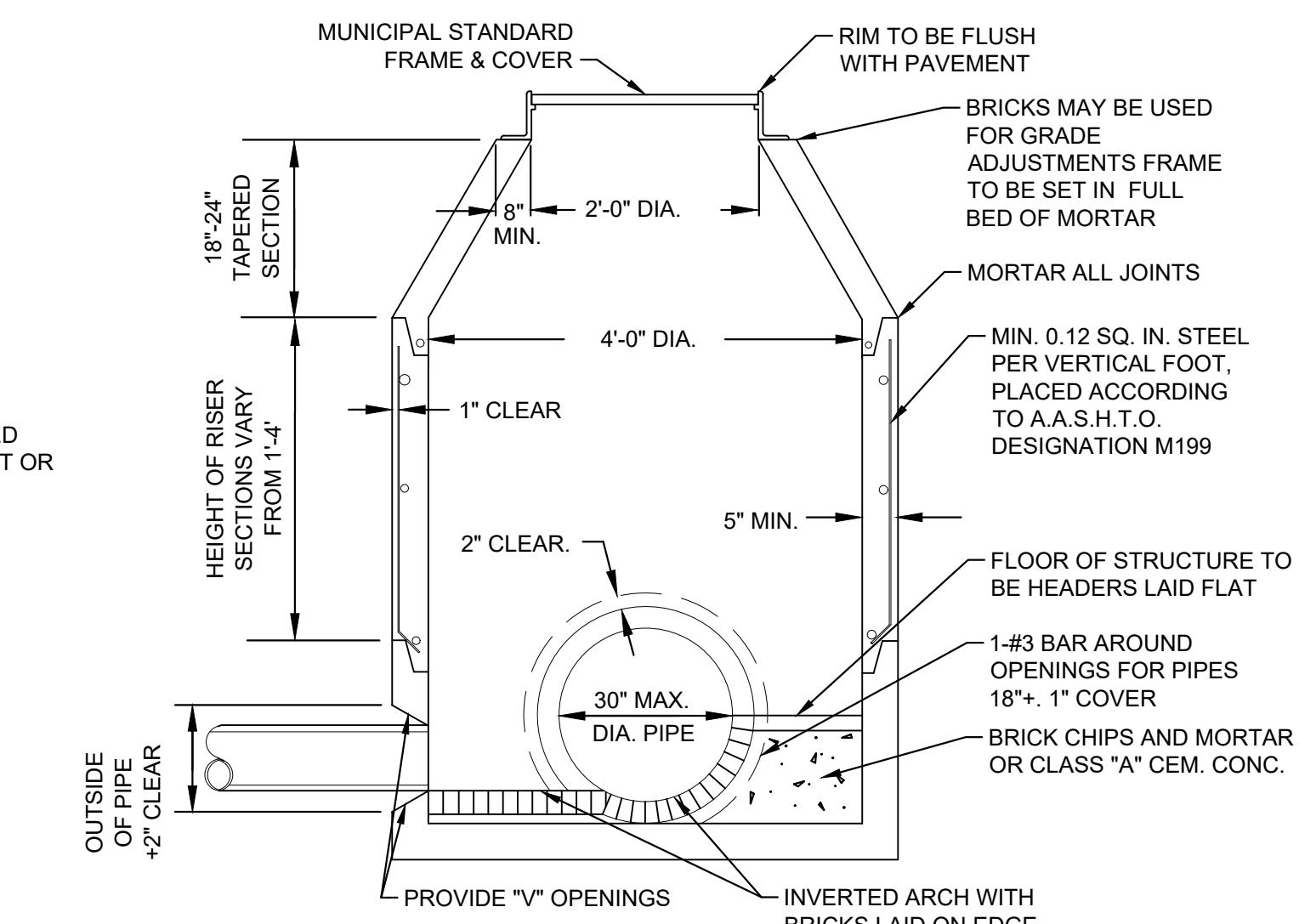
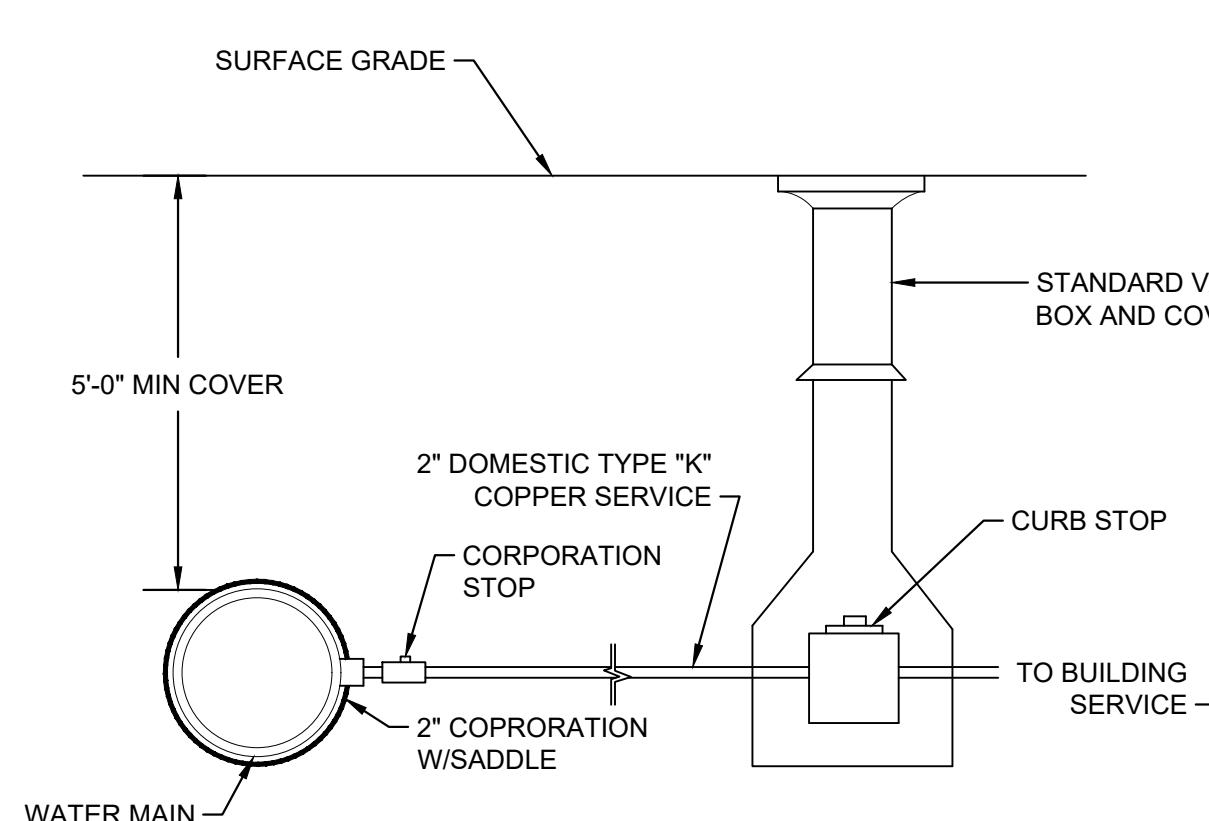


| SIZE OF MAIN (IN.) | 45° BEND | TEES & PLUGS | 22.5° BEND |
|--------------------|----------|--------------|------------|
| 8" OR LESS         | 4        | 5            | 2          |
| 10"                | 6        | 8            | 3          |
| 12"                | 9        | 12           | 5          |
| 16"                | 12       | 16           | 7          |
| 20"                | 20       | 25           | 10         |

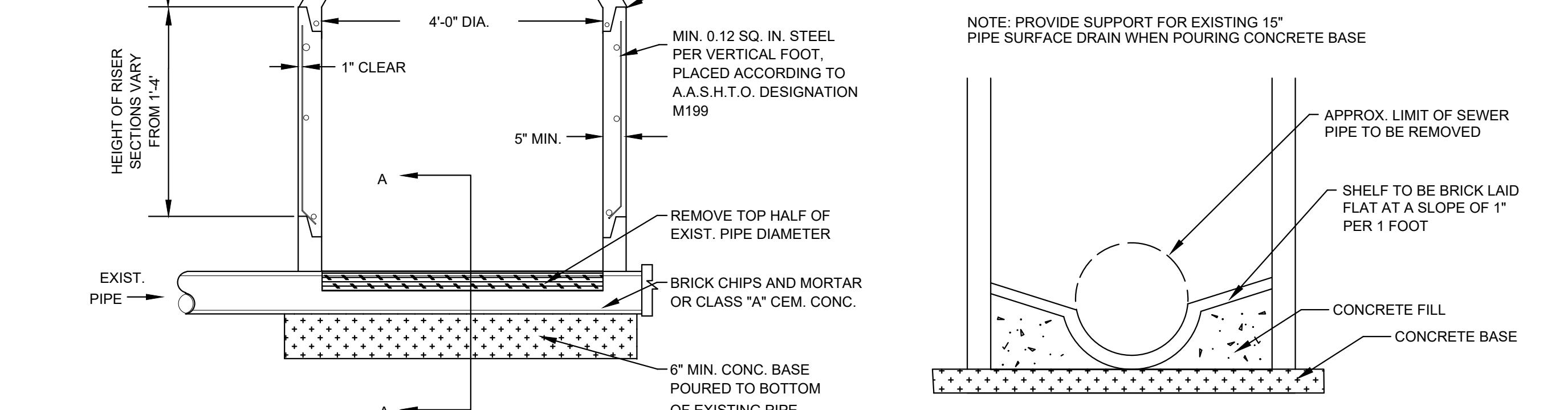
### 5 DOMESTIC WATER SERVICE CONNECTION



### 8 COPPER SERVICE CONNECTION



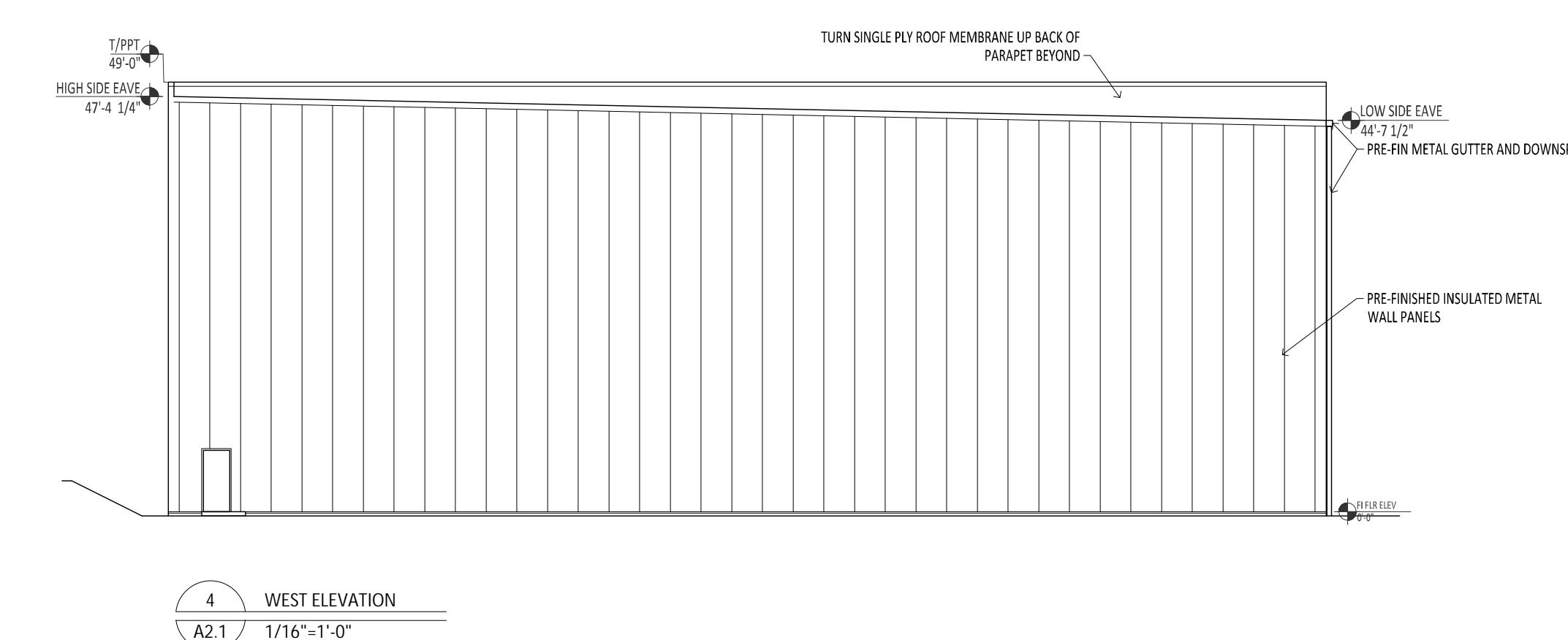
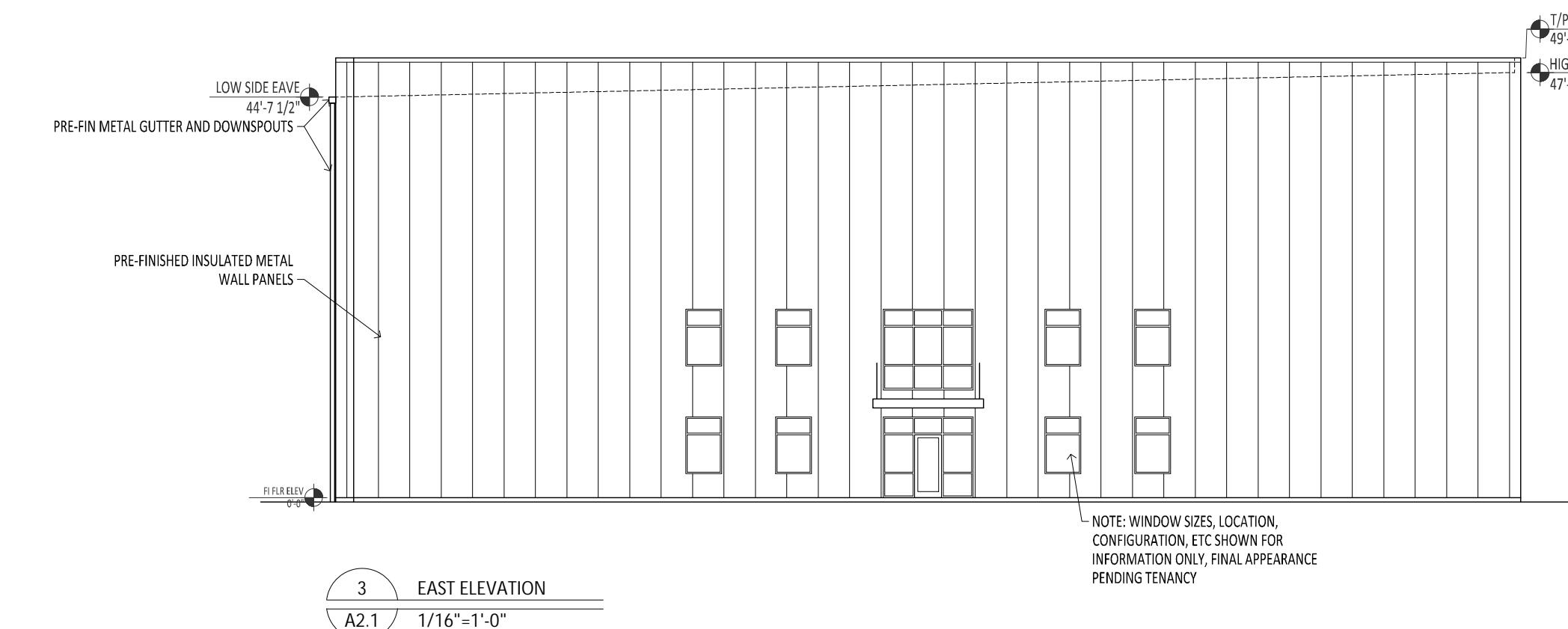
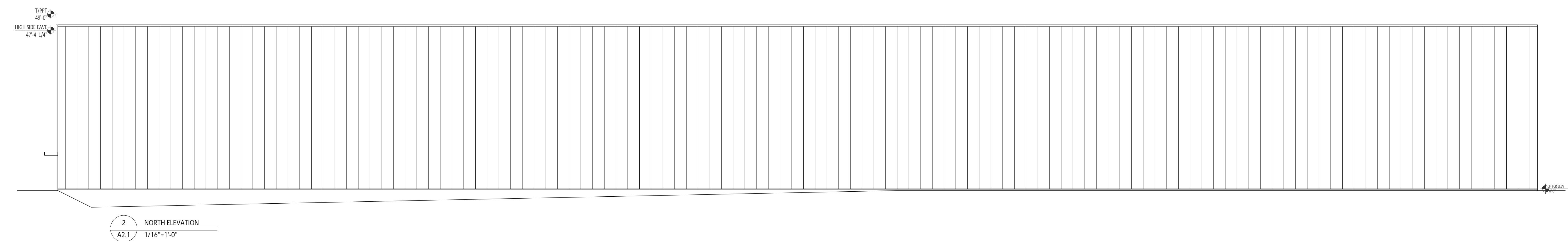
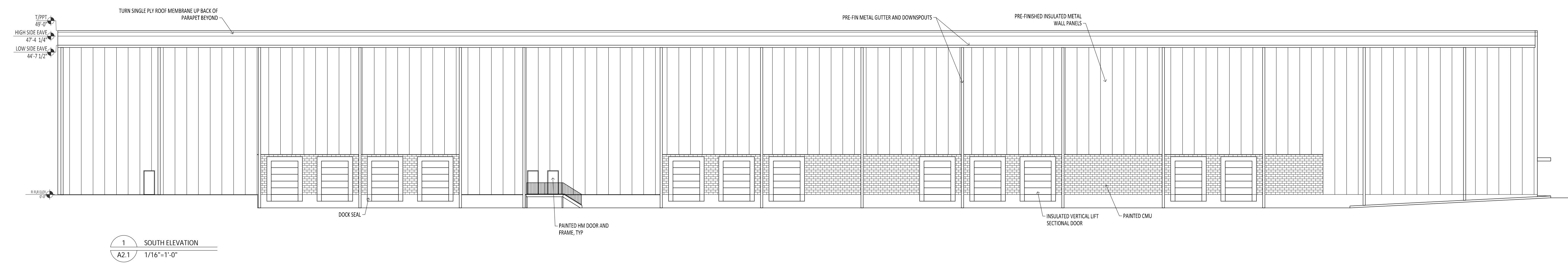
### 6 PRECAST CONCRETE DRAIN MANHOLE



### 9 PRECAST CONCRETE DRAIN MANHOLE OVER EXISTING PIPE







Project Title:  
**REFRIGERATED WAREHOUSE**  
33 DANTON DRIVE  
METHUEN, MA

Drawing Title: **ELEVATIONS**  
Seal:

Released for Construction Date: 27MAY21

Revisions

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Gainesville, Georgia 30506  
(770)855-8805  
Project No.:  
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