

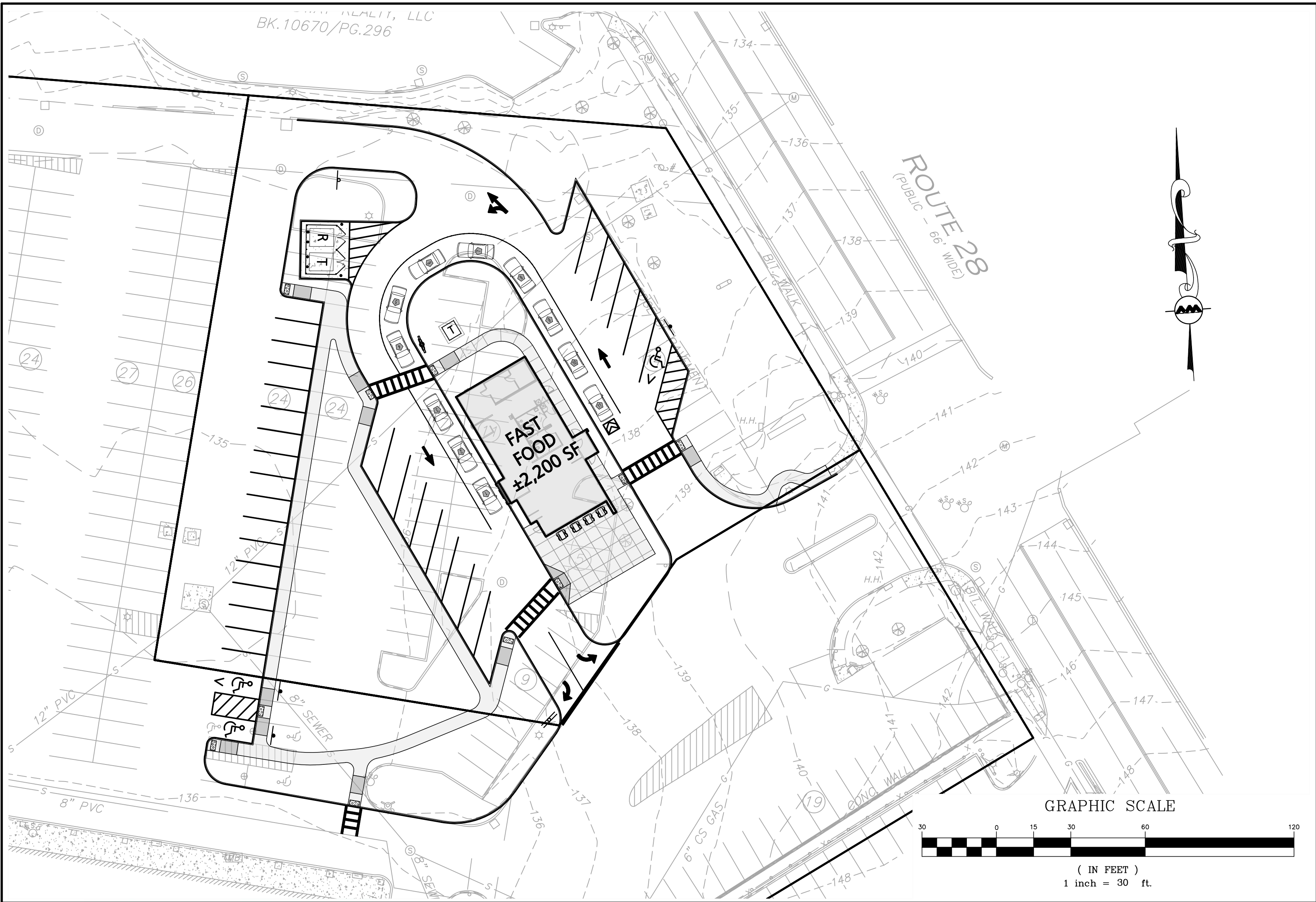
LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLANS FOR
TACO JOHN'S
436 BROADWAY
METHUEN, MA 01844

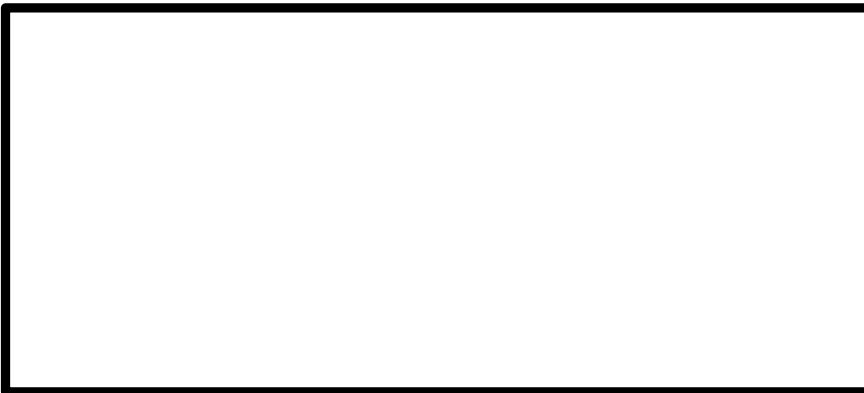
APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

CIVIL ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103

SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
WOBURN, MA 01801



LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REV1
EXISTING CONDITIONS PLAN	1	03-31-23	-
SITE PREPARATION PLAN	C-100	03-31-23	-
OVERALL SITE PLAN	C-101	03-31-23	-
LAYOUT & MATERIALS PLAN	C-102	03-31-23	-
GRADING & DRAINAGE PLAN	C-103	03-31-23	-
UTILITIES PLAN	C-104	03-31-23	-
TRUCK TURNING PLAN	C-105	03-31-23	-
DETAILS	C-501	03-31-23	-
DETAILS	C-502	03-31-23	-
DETAILS	C-503	03-31-23	-
DETAILS	C-504	03-31-23	-
LANDSCAPING PLAN	L-101	03-31-23	-
LANDSCAPING DETAILS	L-501	03-31-23	-



CITY OF METHUEN APPROVAL STAMP



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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ISSUED FOR SITE PLAN REVIEW: MARCH 31, 2023

WE HEREBY CERTIFY THAT THIS PLAN IS THE
RESULT OF AN ACTUAL ON THE GROUND
SURVEY PERFORMED ON OR BETWEEN
DECEMBER 31, 2019 AND JANUARY 10, 2020.



PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.

3/30/23

REV DATE DESCRIPTION

APPLICANT/OWNER:

THE VILLAGE MALL
436 BROADWAY
METHUEN, MA 01844

PROJECT:

436 BROADWAY
METHUEN, MA

PROJECT NO. 3115-01A DATE: 3/30/23

SCALE: 1" = 40' DWG. NAME: S-2732-01-EC

DRAFTED BY: AJR CHECKED BY: AJR/NIL

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

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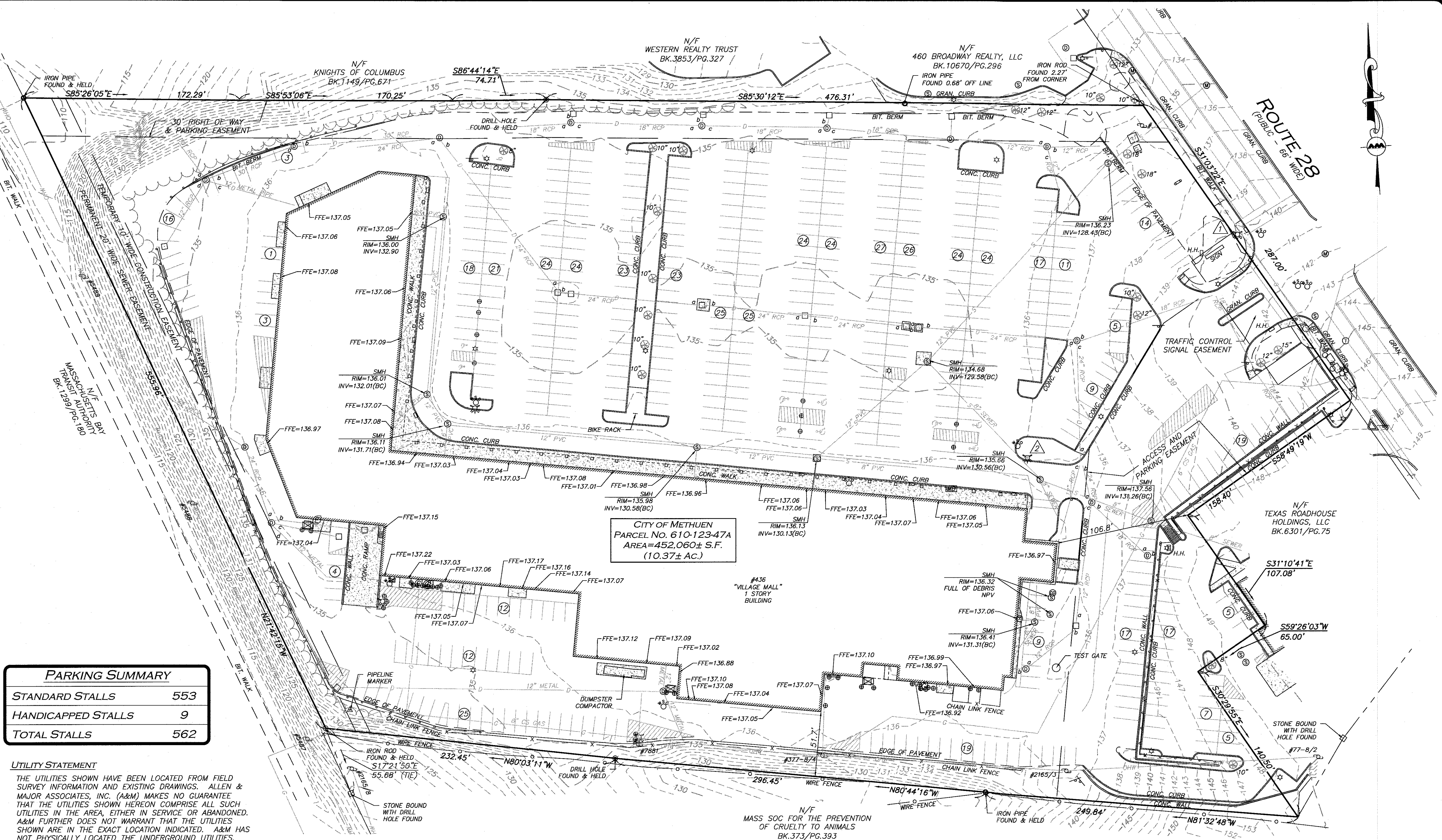
DRAWING TITLE:

EXISTING CONDITIONS

SHEET No.

1

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PARKING SUMMARY

STANDARD STALLS	553
HANDICAPPED STALLS	9
TOTAL STALLS	562

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN &
MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE
THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH
UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES
SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS
NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LEGEND

RAILROAD SPIKE	△	HANDICAPPED PARKING SPACE	16	GAS LINE	—G—
STONE BOUND (SB)	□	PAINTED ARROW	→	OVERHEAD WIRES	—OHW—
DRAIN MANHOLE (DMH)	⊙	PARKING SPACE COUNT	16	FINISHED FLOOR ELEVATION	FFE
SEWER MANHOLE (SMH)	⊙	CONCRETE	—C—	BUILDING HEIGHT	BH
MISC. MANHOLE (MH)	⊙	LANDSCAPED AREA (LSA)	—LSA—	BUTYMINOUS	BIT.
TELEPHONE MANHOLE (TMH)	⊙	BUILDING	—B—	CONCRETE	CONC.
CATCH BASIN (CB)	⊙	WETLAND	—W—	GRANITE	GRAN.
ROUND CATCH BASIN (RCB)	⊙	BUFFER ZONE	—BZ—	BOTTOM CENTER	(BC)
UTILITY POLE	⊙	1' CONTOUR	—53—	REINFORCED CONCRETE PIPE	RCP
UTILITY POLE W/LIGHT	⊙	5' CONTOUR	—55—	POLYVINYL CHLORIDE PIPE	PVC
GUY WIRE	—GW—	PROPERTY LINE	—PL—	NO PIPES VISIBLE	NPV
FIRE HYDRANT	⊙	ABUTTERS LINE	—AL—	TOP OF WATER	TW
WATER GATE	⊙	EDGE OF PAVEMENT	—EP—	CAST IRON	CI
GAS GATE	⊙	CURB	—C—	STONE BOUND W/DRILL HOLE	SB/DH
BOLLARD	⊙	CHAIN LINK FENCE	—CLF—	NOW OR FORMERLY	N/F
LIGHT	⊙	WATER LINE	—WL—	BOOK	BK.
WETLAND FLAG	⊙	SEWER LINE	—SL—	PAGE	PG.
GAS METER	⊙	DRAIN LINE	—DL—		

LOCUS REFERENCES

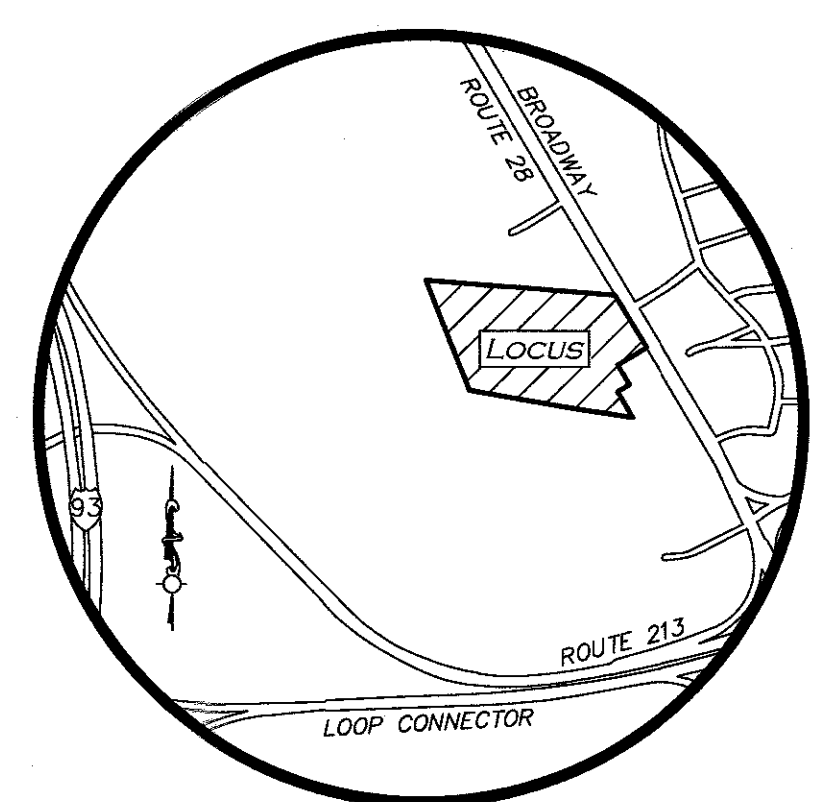
—TOWN OF METHUEN PARCEL NO. 610-123-47A
—RECORD OWNER: SHRI SWAMINE LLC
—DEED BOOK 17223, PAGE 192
—PLAN 9591

PLAN REFERENCES

—PLAN NO. 288
—PLAN NO. 1309
—PLAN NO. 3704
—PLAN NO. 4580
—PLAN NO. 6040
—PLAN NO. 8046
—PLAN NO. 11577
—PLAN NO. 14081
—S.H.L.O. NO. 6639 (1984)

NOTES

- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM ESSEX (NORTH) REGISTRY OF DEEDS IN ANDOVER, MA.
- VERTICAL DATUM IS NAVD 88 ESTABLISHED USING RTK GPS OBSERVATION.
- CONTOUR INTERVAL IS ONE FOOT (1').
- SURVEY WAS PERFORMED UNDER SNOW AND ICE CONDITIONS.
- MANHOLES IN ROUTE 28 WERE UNABLE TO BE OPEN DUE TO BEING FROZEN SHUT AND OR BOLTED SHUT.



LOCUS MAP
(NOT TO SCALE)

BENCHMARK SUMMARY

TBM #	DESCRIPTION	ELEV.
1	X-CUT ON HYDRANT FLANGE BOLT	142.49
2	X-CUT ON HYDRANT FLANGE BOLT	138.15

GRAPHIC SCALE



R:\PROJECTS\3115-01A\SURVEY\DRAWINGS\CURRENT\S-3115-01A-EC.DWG

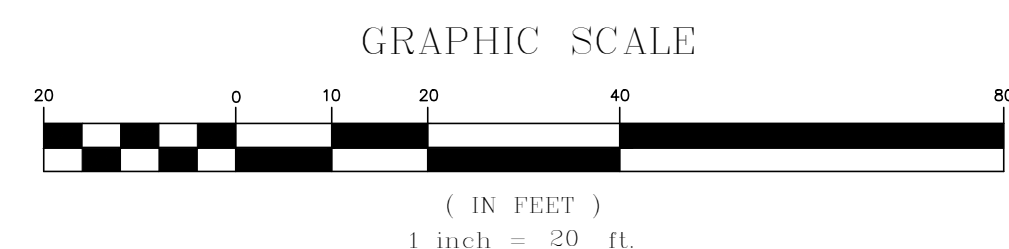


R:\PROJECTS\3115-01A\CIVIL\DRAWINGS\CURRENT\C-3115-01A_SITE-PREP.DWG



LIMIT OF DISTURBANCE	
LIMIT OF 'CLEAR AND GRUB'	
TUBULAR BARRIER	
PAVEMENT TO BE REMOVED	
CATCH BASIN FILTER	
STABILIZED ENTRANCE	
STOCKPILE/STAGING AREA	

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
3. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DANGER" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
4. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
5. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
6. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. IF IT ADDITIONAL MEASURES ARE NECESSARY DURING CONSTRUCTION THEY SHALL BE INSTALLED IMMEDIATELY AND WITHOUT DELAY. SEE DETAIL SHEET C-501 FOR ADDITIONAL INFORMATION.
7. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT\OWNER:

SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:

TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO.	3115-01A	DATE:	03/31/2023
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SCALE:	1" = 20'	DWG. NAME:	C-3115-01A
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DESIGNED BY:	JRG	CHECKED BY:	BDJ
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PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

civil engineering ♦ land surveying
environmental consulting ♦ landscape architecture
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DRAWING TITLE:

SITE PREPARATION PLAN

SHEET No.

C-100

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PROPERTY LINE	
SIGN	
BOLLARD	
BUILDING	
BUILDING ARCHITECTURE	
BUILDING INTERIOR WALLS	
CURB	
RETAINING WALL	
PARKING STRIPING	
ROADWAY STRIPING	
TRAFFIC ARROWS	
HEAVY DUTY CONCRETE	
SIDEWALK	
ADA ACCESSIBLE RAMP	
ADA DET. WARNING SURFACE	
SNOW STORAGE	
SETBACK LINE	
SAW-CUT LINE	
PARKING COUNT	
WOOD FENCE	
TRANSFORMER	
VERTICAL CONCRETE CURB	VCC
MONOLITHIC CONCRETE CURB	MCC
VERTICAL GRANITE CURB	VGC

ITEM	REQUIRED	EXISTING	LOT 1	LOT 2
MINIMUM LOT AREA	10,000 SF	452,060± SF	401,650± SF	50,410± SF
MINIMUM FRONTAGE	100 FT	287.0± FT	135.5± FT	151.5± FT
MINIMUM LOT WIDTH	100 FT	287.0± FT	103.3± FT	165.4± FT
MINIMUM FRONT YARD SETBACK	25 FT	256.8± FT	256.8± FT	89.9± FT
MINIMUM SIDE YARD SETBACK	30 FT	106.8± FT	106.8± FT	30.9± FT
MINIMUM REAR YARD SETBACK	30 FT	51.7± FT	51.7± FT	74.3± FT
MAXIMUM NUMBER OF STORIES	3	1	1	1
MAXIMUM BUILDING HEIGHT	40 FT	EXISTING	EXISTING	22 FT
MAXIMUM LOT COVERAGE	35%	21.5±%	24.4±%	4.4±%

1. ALL CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
2. PARKING DIMENSIONS ARE TAKEN FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF METHUEN, MADOT, MADEP, MUTCD, AND AASHTO.
5. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS, IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.

-

PARKING CALCULATIONS WERE DERIVED FROM THE METHUEN ZONING ORDINANCE - TABLE OF REQUIRED OFF-STREET PARKING	REQUIRED PARKING	EXISTING PARKING	PROPOSED PARKING
TENANT 1: RESTAURANT (RESTAURANT: 6,335 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*80 SEATS/4) = 20.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 24.0	24.0	-	-
TENANT 2: DOLLAR TREE (RETAIL: 11,482 S.F.) (1 PER 250 S.F. → 1 x (11,482 S.F./250 S.F.) = 45.9) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 5) = 50.9	50.9	-	-
TENANT 3: WAREHOUSE (WAREHOUSE: 10,000 S.F.) 1 PER 1,200 S.F. → 1 x (10,000 S.F./1,200 S.F.) = 8.3	8.3	-	-
TENANT 4: FAMILY RENTALS FURNITURE (RETAIL: 2,719 S.F.) (1 PER 250 S.F. → 1 x (2,719 S.F./250 S.F.) = 10.9) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*6 EMP./2) = 3) = 13.9	13.9	-	-
TENANT 5: BEAUTACIOUS NAILS (OFFICE: 1,915 S.F.) 1 PER 300 S.F. → 1 x (1,915 S.F./300 S.F.) = 6.4	6.4	-	-
TENANT 6: HARROWS CHICKEN PIES (RESTAURANT: 1,873 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*24 SEATS/4) = 6.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 10.0	10.0	-	-
TENANT 7: CHINA BUFFET (RESTAURANT: 7,514 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*96 SEATS/4) = 24.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*16 EMP./2) = 8) = 32.0	32.0	-	-
TENANT 8: WORK OUT WORLD (OTHER INSTITUTION: 21,361 S.F.) 1 PER 600 S.F. → 1 x (21,361 S.F./600 S.F.) = 35.6	35.6	-	-
TENANT 9: AMERICAN CABINET (RETAIL: 4,000 S.F.) (1 PER 250 S.F. → 1 x (4,000 S.F./250 S.F.) = 16.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 20.0	20.0	-	-
TENANT 10: BAY STATE EYE (OFFICE: 2,000 S.F.) 1 PER 300 S.F. → 1 x (2,000 S.F./300 S.F.) = 6.7	6.7	-	-
TENANT 11: DR. LYONS (OFFICE: 2,000 S.F.) 1 PER 300 S.F. → 1 x (2,000 S.F./300 S.F.) = 6.7	6.7	-	-
TENANT 12: MAYA GOURMET (RESTAURANT: 1,571 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*24 SEATS/4) = 6.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 10.0	10.0	-	-
TENANT 13: OFFICE (OFFICE: 400 S.F.) 1 PER 300 S.F. → 1 x (400 S.F./300 S.F.) = 1.3	1.3	-	-
TENANT 14: BLUSH SPA (OFFICE: 1,350 S.F.) 1 PER 300 S.F. → 1 x (1,350 S.F./300 S.F.) = 4.5	4.5	-	-
TENANT 15: FREEDOM TOBACCO (RETAIL: 1,520 S.F.) (1 PER 250 S.F. → 1 x (1,520 S.F./250 S.F.) = 6.1) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*6 EMP./2) = 3) = 9.1	9.1	-	-
TENANT 16: AVAILABLE (RETAIL: 3,913 S.F.) (1 PER 250 S.F. → 1 x (3,913 S.F./250 S.F.) = 15.7) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*10 EMP./2) = 5) = 20.7	20.7	-	-
TENANT 17: MERRIMACK VALLEY CREDIT UNION (OFFICE: 4,000 S.F.) 1 PER 300 S.F. → 1 x (4,000 S.F./300 S.F.) = 13.3	13.3	-	-
TENANT 18: JO-ANN FABRICS (RETAIL: 4,000 S.F.) (1 PER 250 S.F. → 1 x (4,000 S.F./250 S.F.) = 16.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*10 EMP./2) = 5) = 21.0	21.0	-	-
TENANT 19: PROPOSED FAST FOOD RESTAURANT (DRIVE-THROUGH RESTAURANT: 2,200 S.F.) (1 PER 250 S.F. → 1 x (2,200 S.F./250 S.F.) = 8.8) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*12 EMP./2) = 6) = 14.8	14.8	-	-
TOTAL PARKING REQUIRED BASED ON INDIVIDUAL USES:	309.2	-	-
TOTAL PARKING PROVIDED:	-	562	491

GRAPHIC SCALE

(IN FEET)
1 inch = 50 ft.



REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT\OWNER:

SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:

TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO.	3115-01A	DATE:	03/31/2023
-------------	----------	-------	------------

SCALE: 1" = 50' DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC

civil engineering ♦ land surveying
environmental consulting ♦ landscape architecture
w w w . a l l e n m a j o r . c o m
100 COMMERCE WAY, SUITE 5
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FAX: (781) 935-2896

WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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DRAWING TITLE:

OVERALL SITE PLAN

SHEET No.

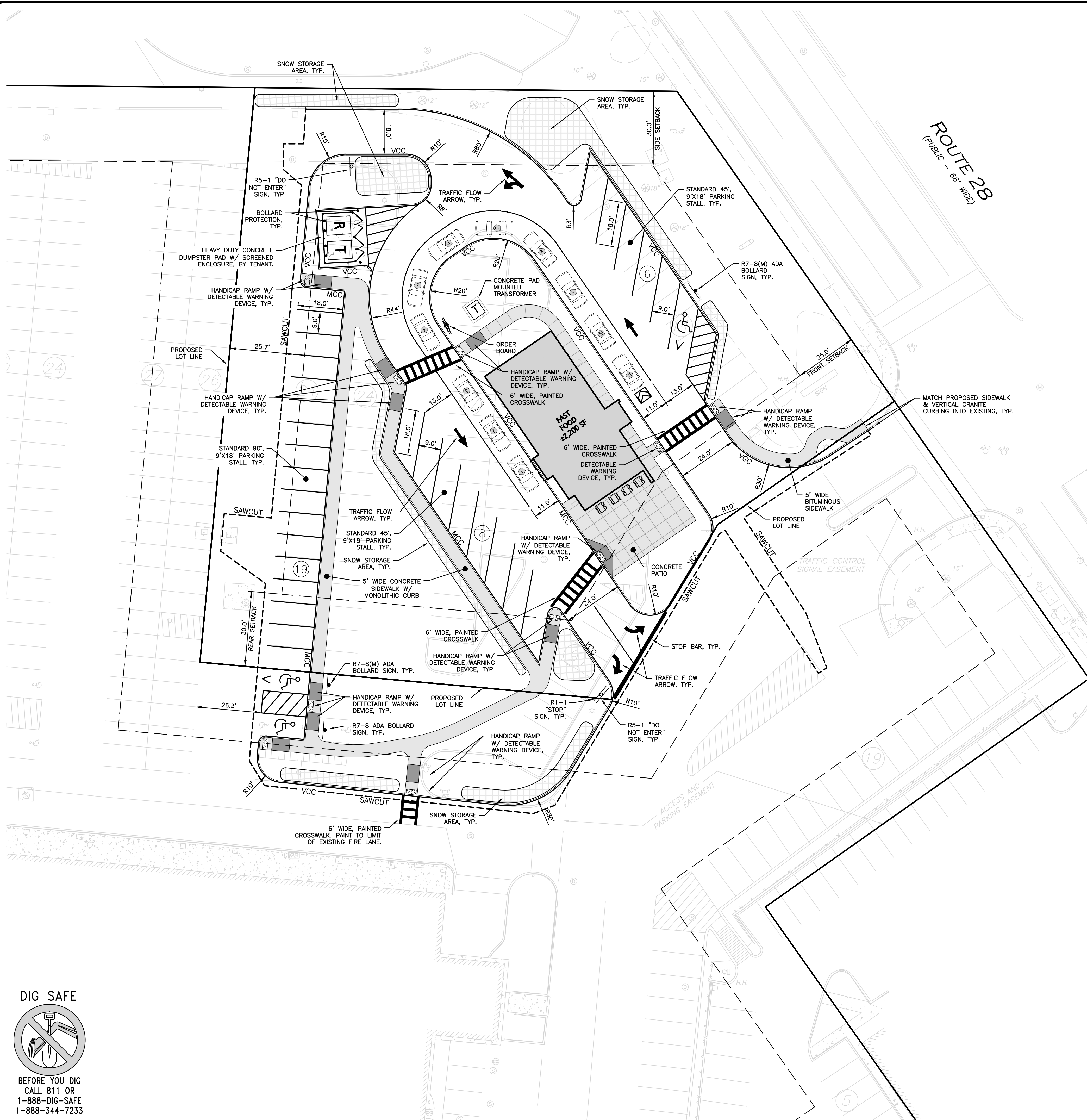
C-101

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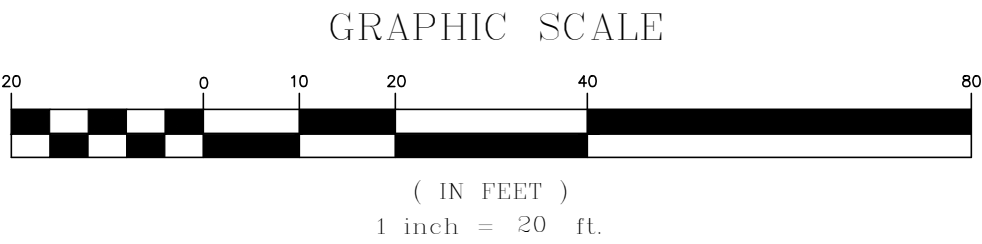
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CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

R:\PROJECTS\3115-01A\CIVIL\DRAWINGS\CURRENT\C-3115-01A_LAYOUT & MATERIALS.DWG



LEGEND	
PROPERTY LINE	---
SIGN	+
BOLLARD	•
BUILDING	[Solid Grey Box]
BUILDING ARCHITECTURE	[Hatched Box]
BUILDING INTERIOR WALLS	[Dashed Line]
CURB	[Double Line]
RETAINING WALL	[Hatched Box]
PARKING STRIPING	[Hatched Box]
ROADWAY STRIPING	[Hatched Box]
TRAFFIC ARROWS	→
HEAVY DUTY CONCRETE	[Hatched Box]
SIDEWALK	[Hatched Box]
ADA ACCESSIBLE RAMP	[Hatched Box]
ADA DET. WARNING SURFACE	[Hatched Box]
SNOW STORAGE	[Hatched Box]
SETBACK LINE	---
SAW-CUT LINE	---
PARKING COUNT	10
WOOD FENCE	[Hatched Box]
TRANSFORMER	[Box with T]
VERTICAL CONCRETE CURB	VCC
MONOLITHIC CONCRETE CURB	MCC
VERTICAL GRANITE CURB	VGC

- NOTES:
- HOURS OF OPERATION WILL BE 6AM-MIDNIGHT, MONDAY THROUGH SUNDAY.
 - ALL CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
 - PARKING DIMENSIONS ARE TAKEN FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF METHUEN, MADOT, MADEP, MUTCD, AND AASHTO.
 - WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
 - EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC IN FEBRUARY OF 2023, AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF METHUEN, MA AND OTHER SOURCES.
 - THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY OF METHUEN, MA DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:
TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 20' DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102

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R:\PROJECTS\3115-01A\CIVIL\DRAWINGS\CURRENT\C-3115-01A_GRADING & DRAINAGE.DWG



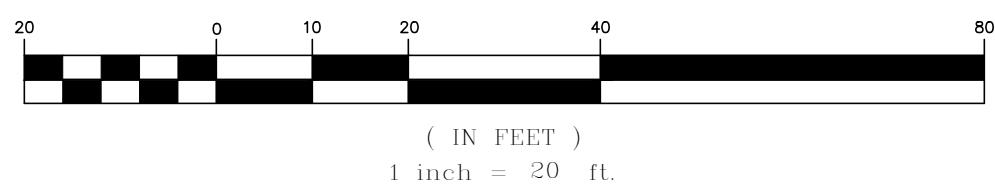
LEGEND

DRAIN MANHOLE	
CATCH BASIN	
AREA DRAIN	
DRAIN LINE	
RIPRAP OUTFALL	
10' CONTOUR	
2' CONTOUR	
SPOT GRADE	
FLOW DIRECTION	

NOTES:

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF METHUEN, MA AND OTHER SOURCES.
- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PIPE DIMENSIONS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
- ROOF DRAIN LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
- EXISTING DRAINAGE STRUCTURES ARE TO BE CLEANED & INSPECTED TO ENSURE THEY FUNCTION AS DESIGNED.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION

APPLICANT/OWNER:

SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:

TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 20' DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

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DRAWING TITLE:

GRADING & DRAINAGE PLAN

SHEET No.

C-103

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UTILITY NOTES:

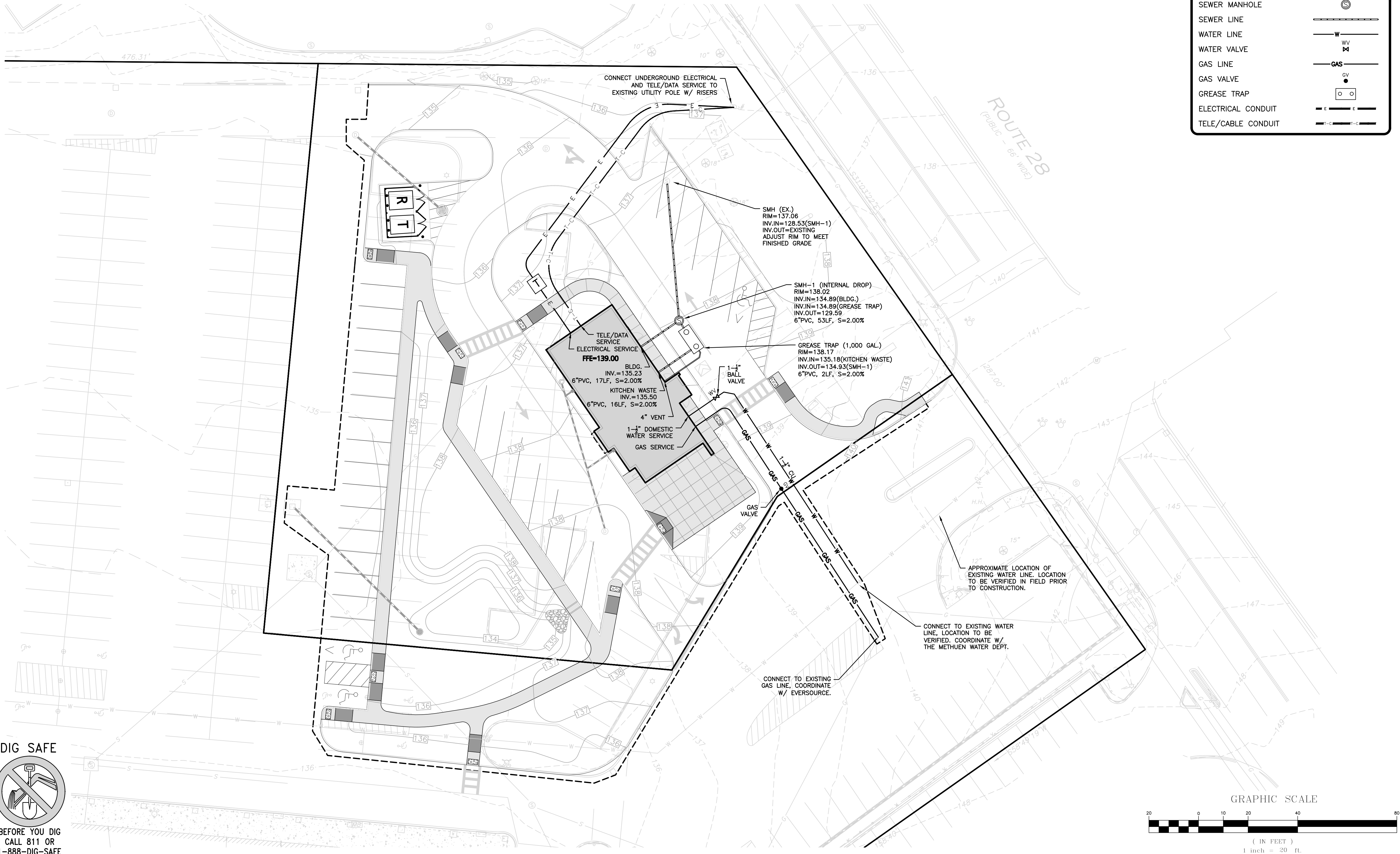
1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING PIPES SHALL BE ENCASED IN CONCRETE OR SLEEVED IN A LARGER DIAMETER PIPE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
3. THE CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS; DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.

5. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
7. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 4.5 FEET OF COVER AND A MAXIMUM OF 8 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
8. ALL WATER MAINS 3 INCHES AND LARGER SHALL BE CEMENT LINED DUCTILE IRON - CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES.
9. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.
10. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE METHUEN WATER DEPARTMENT'S REQUIREMENTS.

11. GENERALLY, WATER MAIN FITTINGS, AND VALVES SHOWN ON THIS DRAWING ARE FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS AND VALVES ARE NOTED, SHOWN OR INDICATED.
12. LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE TOWN OF NEWINGTON REGULATIONS AND ELECTRIC COMPANY.
13. LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE.
14. THE LOCATION OF THE EXISTING WATER LINE IS SCHEMATIC IN NATURE AND IS TO BE CONFIRMED USING GROUND PENETRATING RADAR (GPR).

LEGEND

SEWER MANHOLE	
SEWER LINE	
WATER LINE	
WATER VALVE	
GAS LINE	
GAS VALVE	
GREASE TRAP	
ELECTRICAL CONDUIT	
TELE/CABLE CONDUIT	



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
-----	------	-------------

APPLICANT/OWNER:

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PO BOX 2022
DANVERS, MA 01923

PROJECT:

TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO.	3115-01A	DATE:	03/31/2023
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SCALE:	1" = 20'	DWG. NAME:	C-3115-01A
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DESIGNED BY:	JRG	CHECKED BY:	BDJ
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PREPARED BY:

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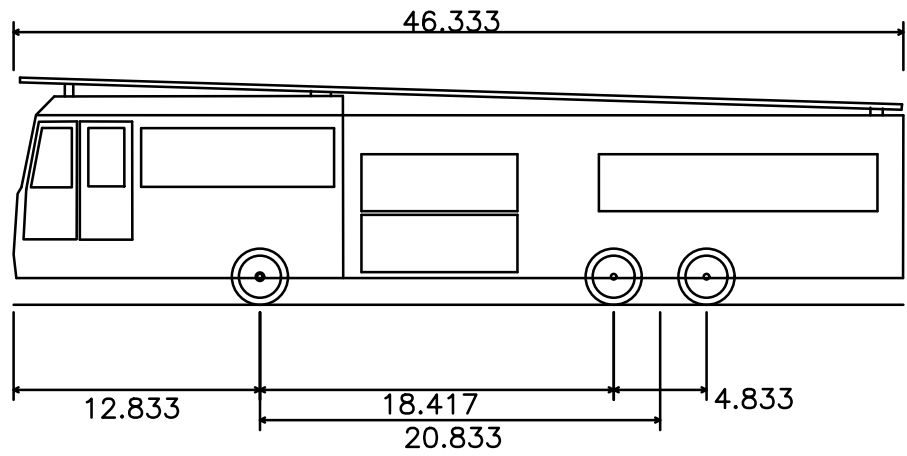
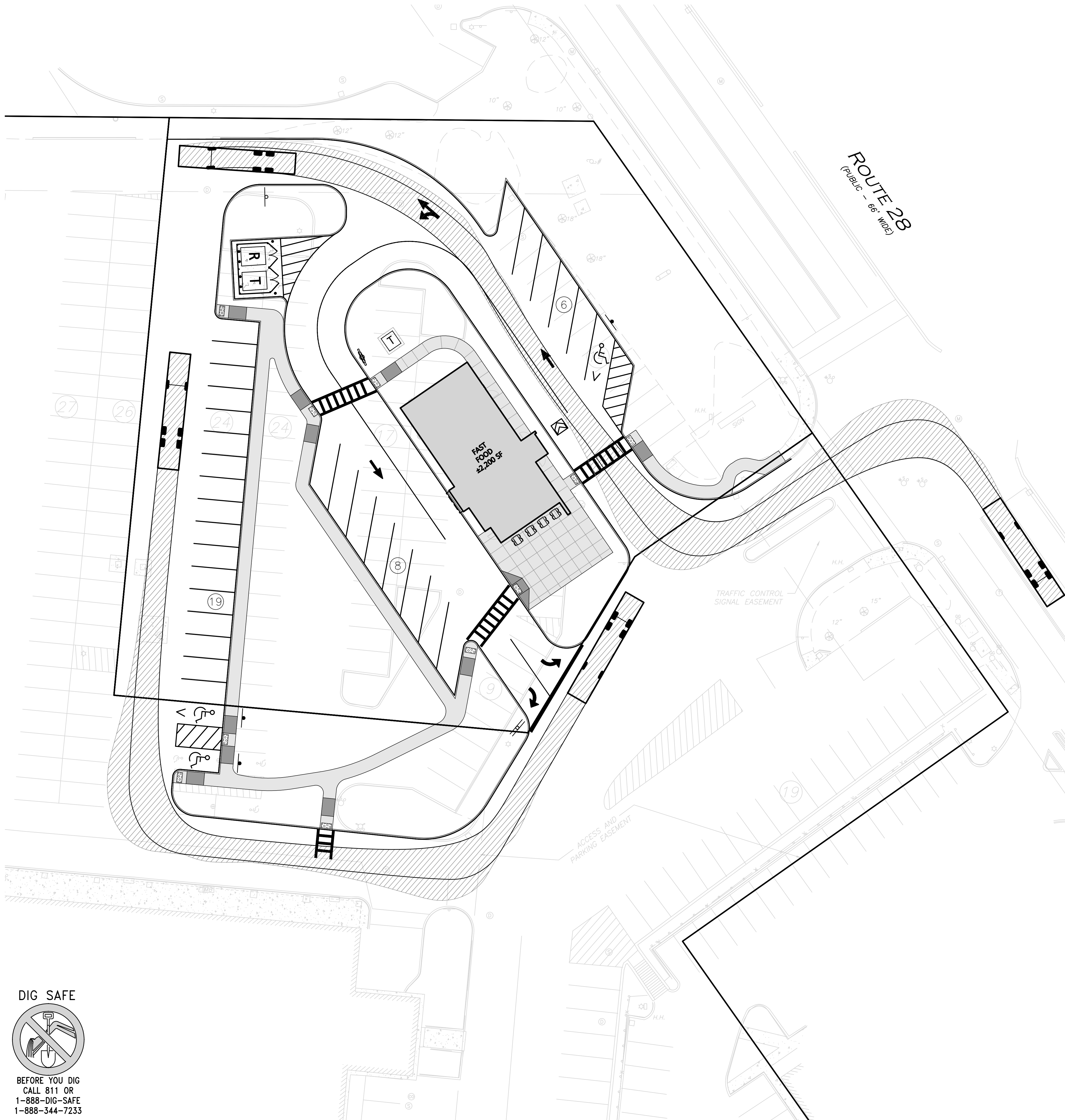
UTILITIES PLAN

SHEET No.

C-104

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R:\PROJECTS\3115-01A\CIVIL\DRAWINGS\CURRENT\C-3115-01A_TRUCK TURNING PLAN.DWG

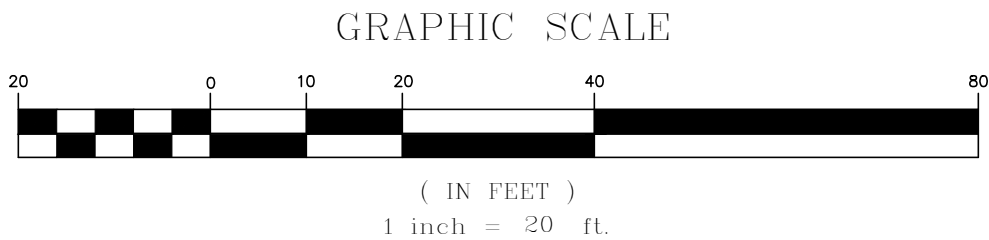


FIRE TRUCK
Overall Length 46.333ft
Overall Width 8.333ft
Overall Body Height 11.833ft
Min Body Ground Clearance 1.393ft
Track Width 8.333ft
Lock-to-lock time 6.00s
Max Wheel Angle 45.00°



NOTES:

1. THE VEHICLE USED IN THE SIMULATION IS A STANDARD FIRE TRUCK.
2. EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC IN FEBRUARY OF 2023, AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF METHUEN, MA AND OTHER SOURCES.
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Brian D. Jones
03-31-23

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:

SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:

TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 20' DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

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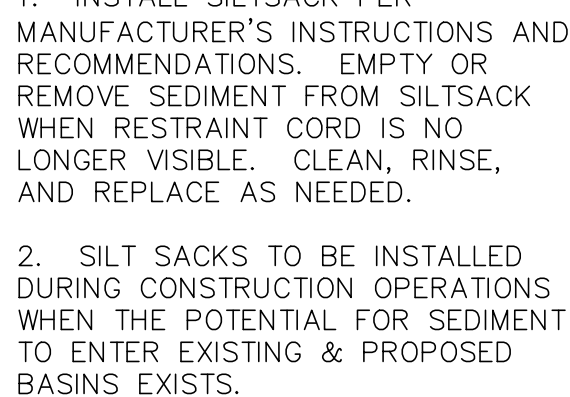
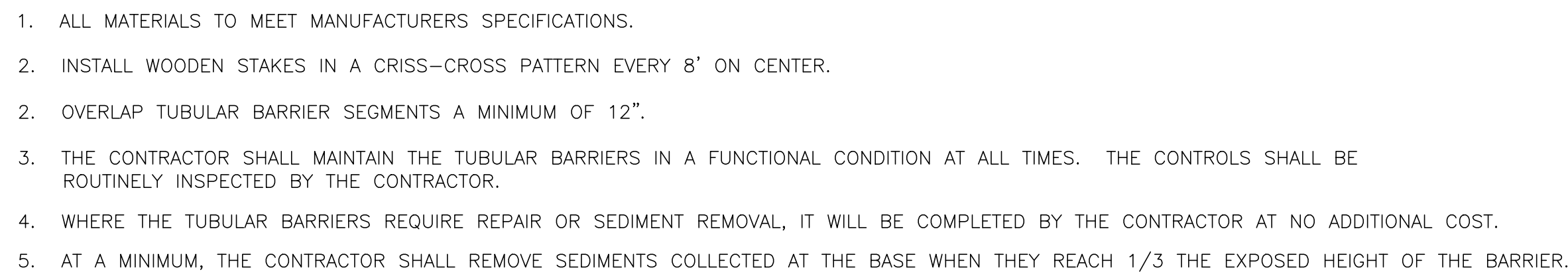
DRAWING TITLE:

TRUCK TURNING PLAN

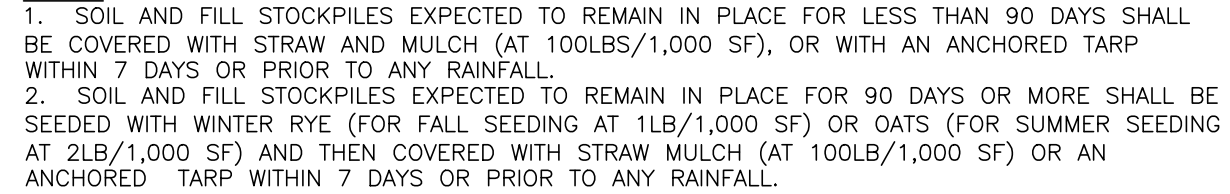
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C-105

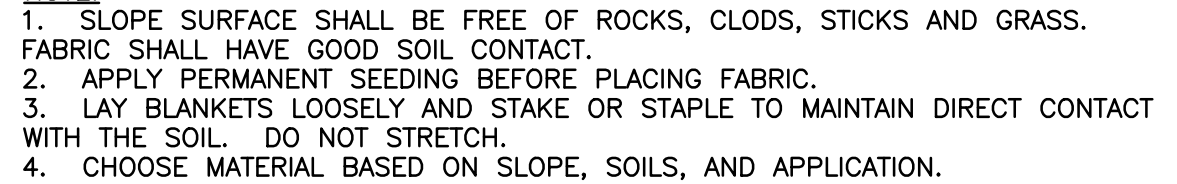
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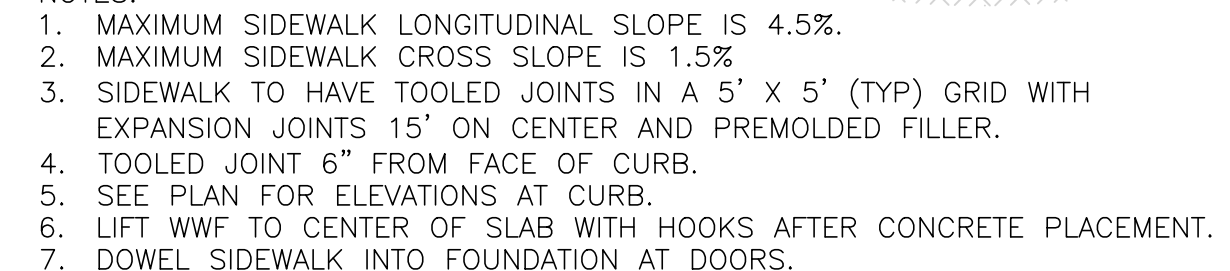
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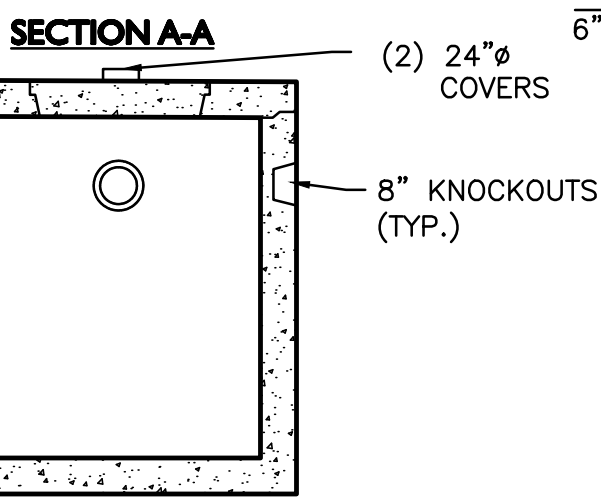
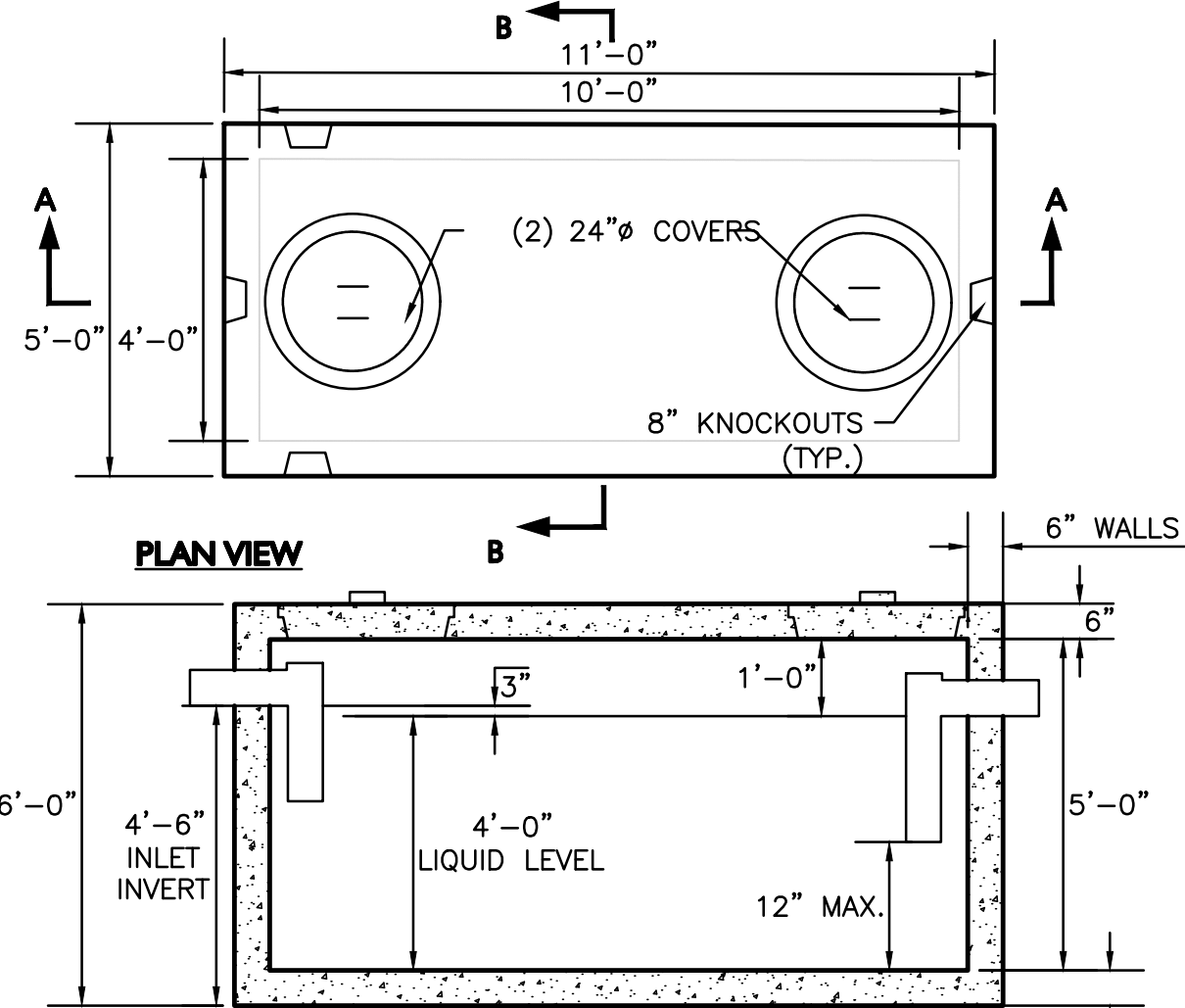
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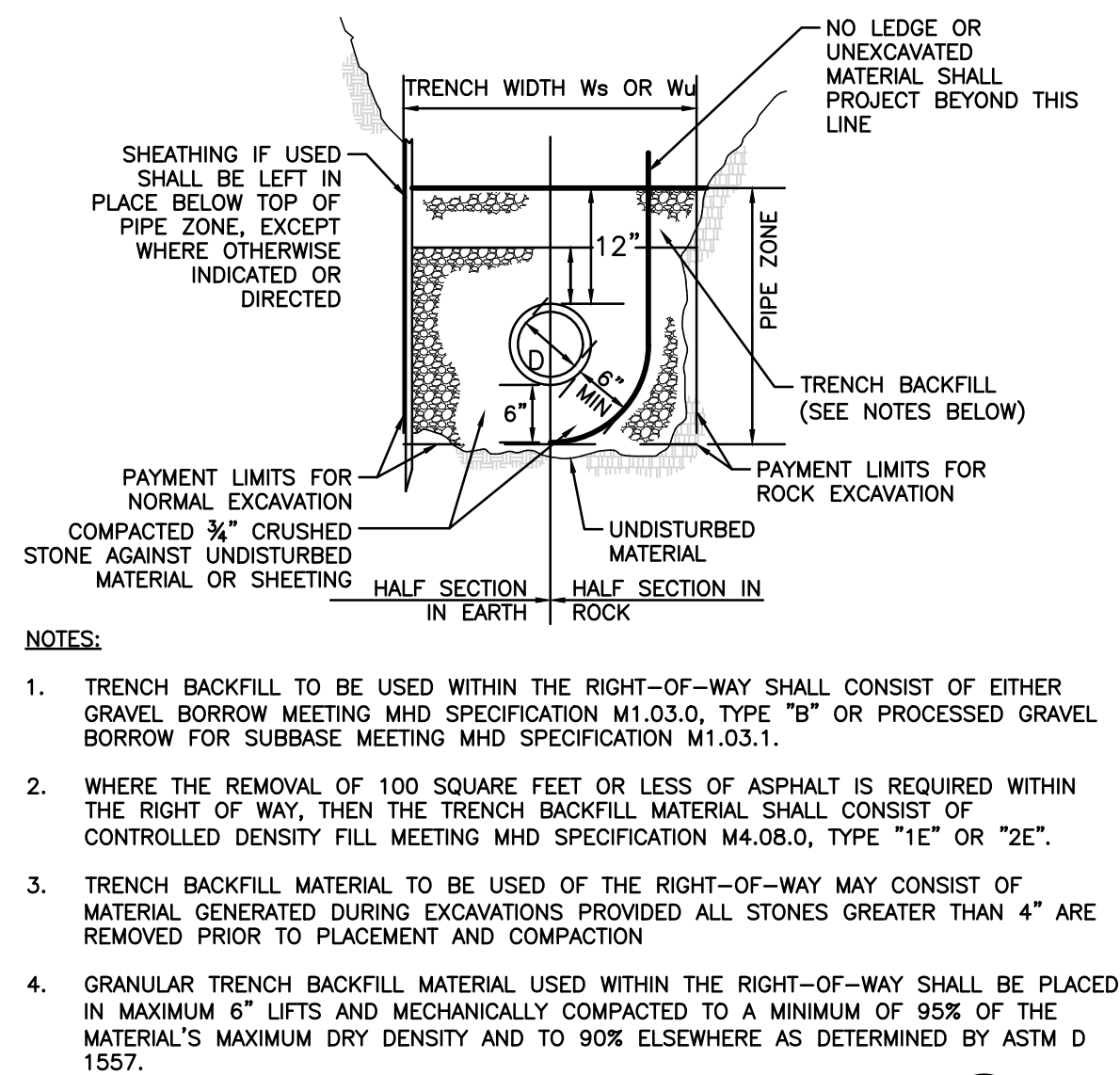
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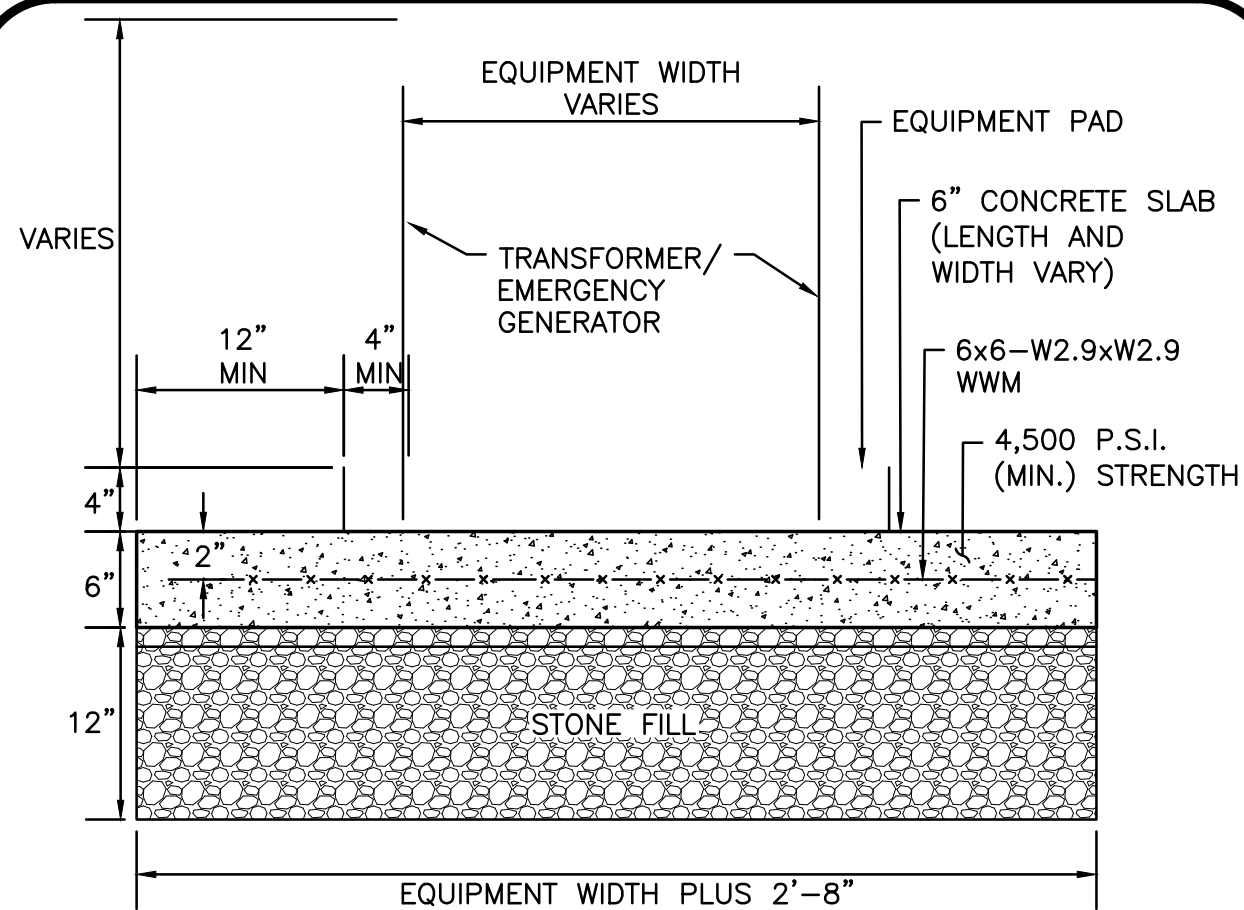
- MANUFACTURER'S NOTES:**
- CONCRETE: 5,000 PSI MINIMUM STRENGTH @ 28 DAYS.
 - STEEL REINFORCING-ASTM A-615, GRADE 60.
 - COVER TO STEEL-1" MINIMUM.
 - TANKS ARE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH ASHHTO HS-20 LOADING.
 - EARTH COVER: 1 TO 5 FEET MAX.
 - CONSTRUCTION JOINT SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT.
 - APPROX. WEIGHTS: TOP SLAB = 2.3 TONS; BOTTON SECTION = 8.5 TONS.
- ADDITIONAL NOTES:**
- ALL PIPE GOING TO, WITHIN, AND TO 10 FEET BEYOND THE CONCRETE STRUCTURE, INCLUDING THE 4" VENT PIPE, SHALL BE THE RESPONSIBILITY OF THE PLUMBING PROFESSIONAL.
 - ALL PIPE, INCLUDING THE 4" VENT PIPE TO THE ROOF, SHALL BE CAST IRON.
 - THE PLUMBING PROFESSIONAL SHOULD COORDINATE INSTALLATION OF THE TANK, ACCESS MANHOLES, AND DETAILS OF EXCAVATION, BACKFILLING, AND WATERPROOFING WITH THE CIVIL ENGINEER.
 - ADJUST TO GRADE WITH MINIMUM 12" OF CONCRETE BRICK AND MORTAR (RED BRICK SHALL NOT BE USED).
 - BUTYL RUBBER JOINT SEALANT SHALL BE USED AT ALL JOINTS.

GREASE TRAP (1,000 GAL)
NOT TO SCALE

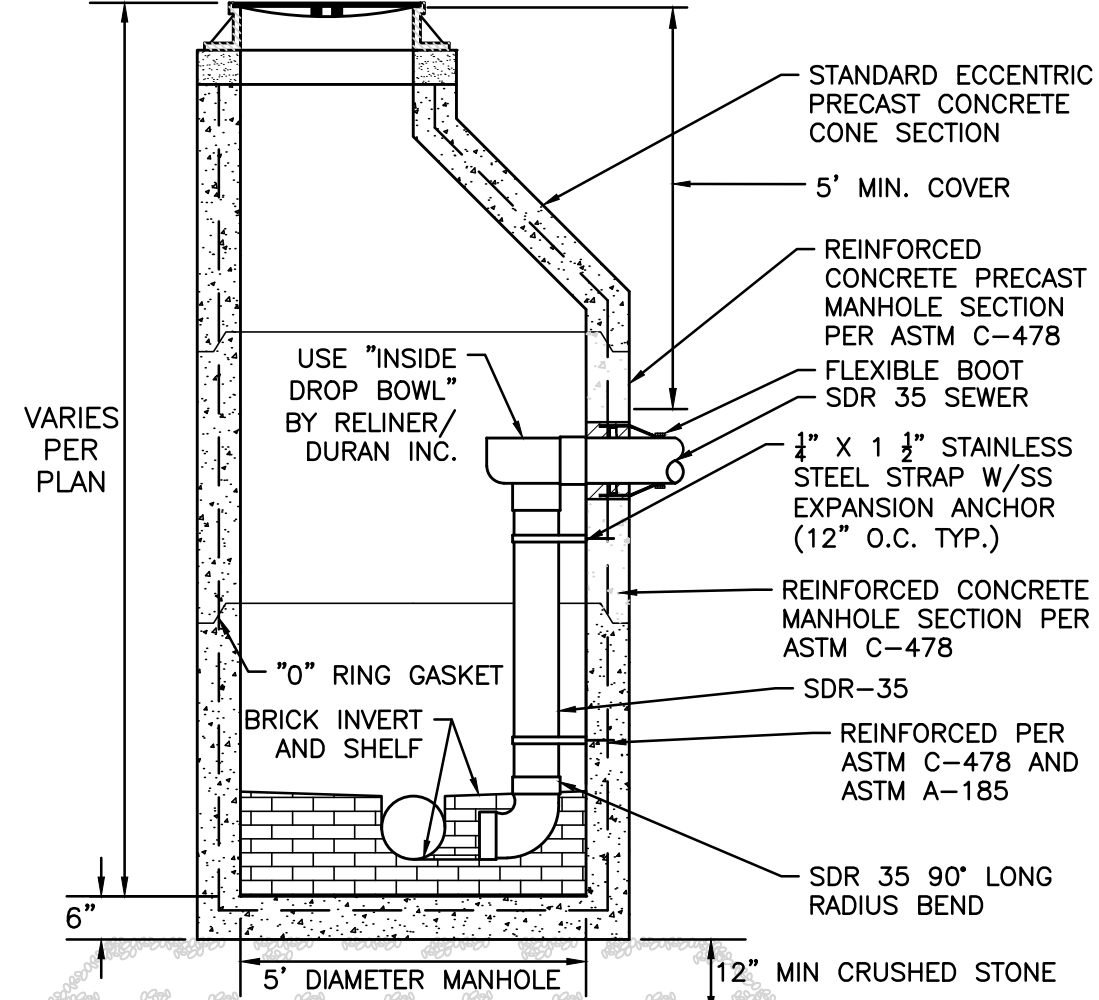
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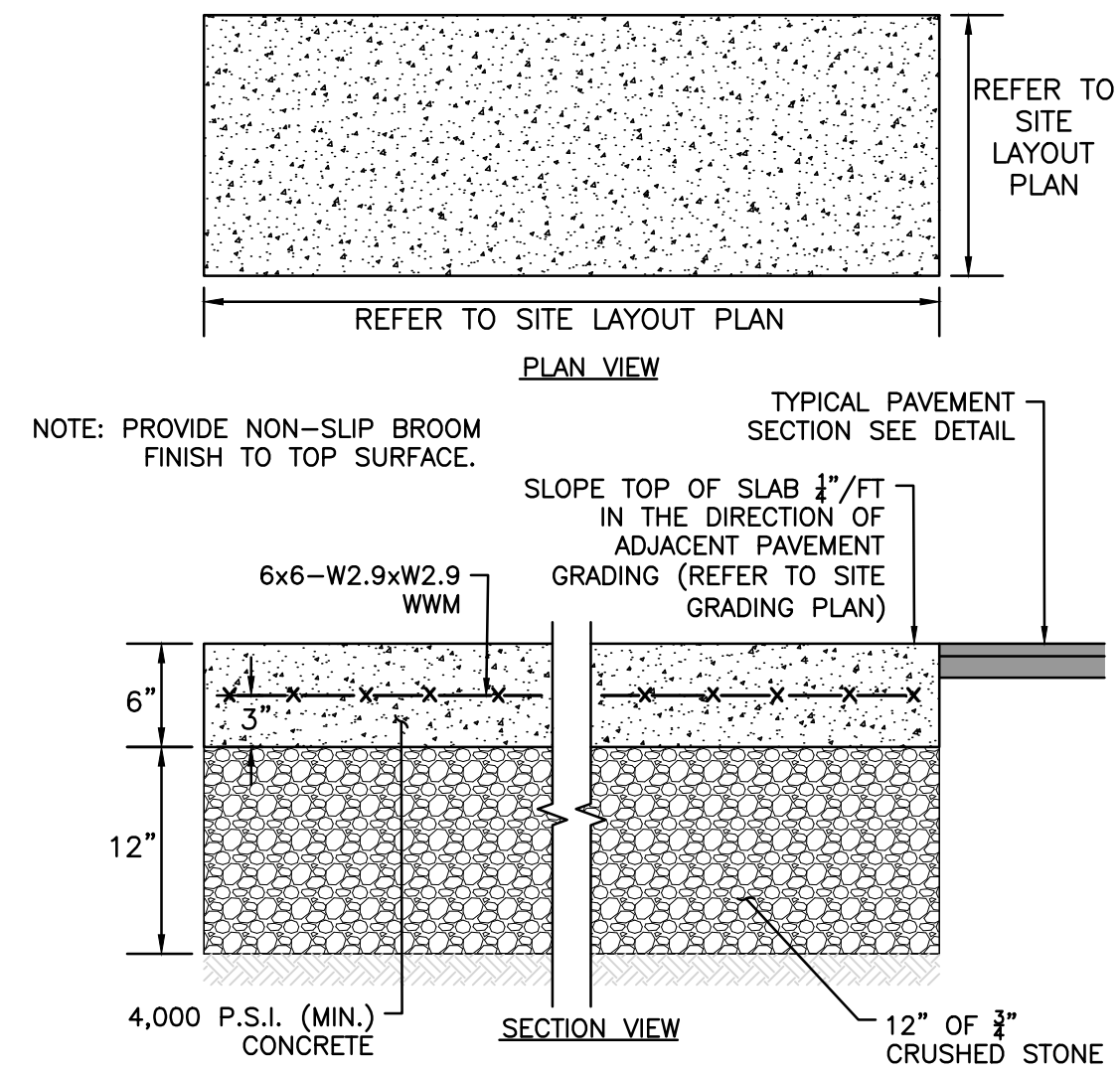
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5



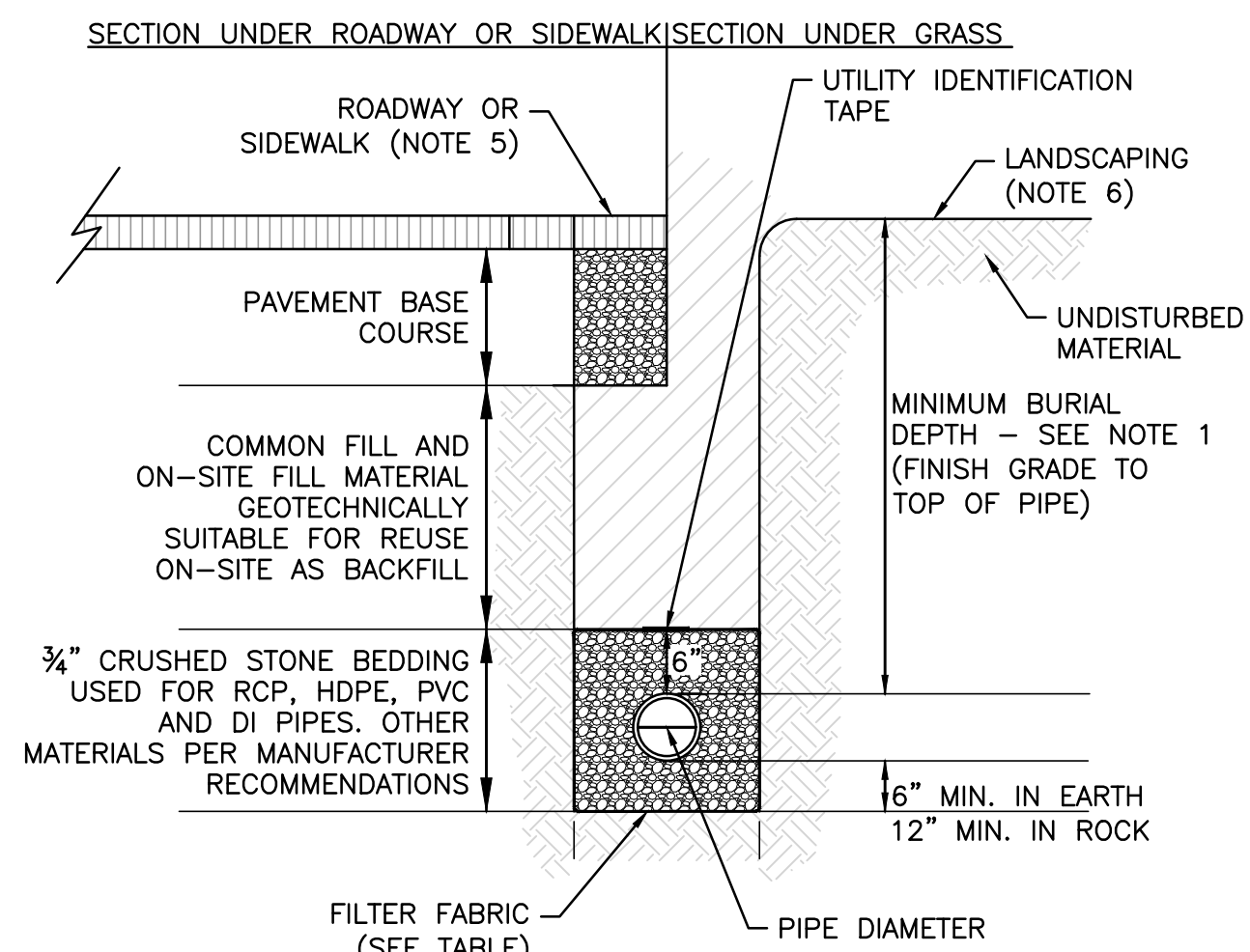
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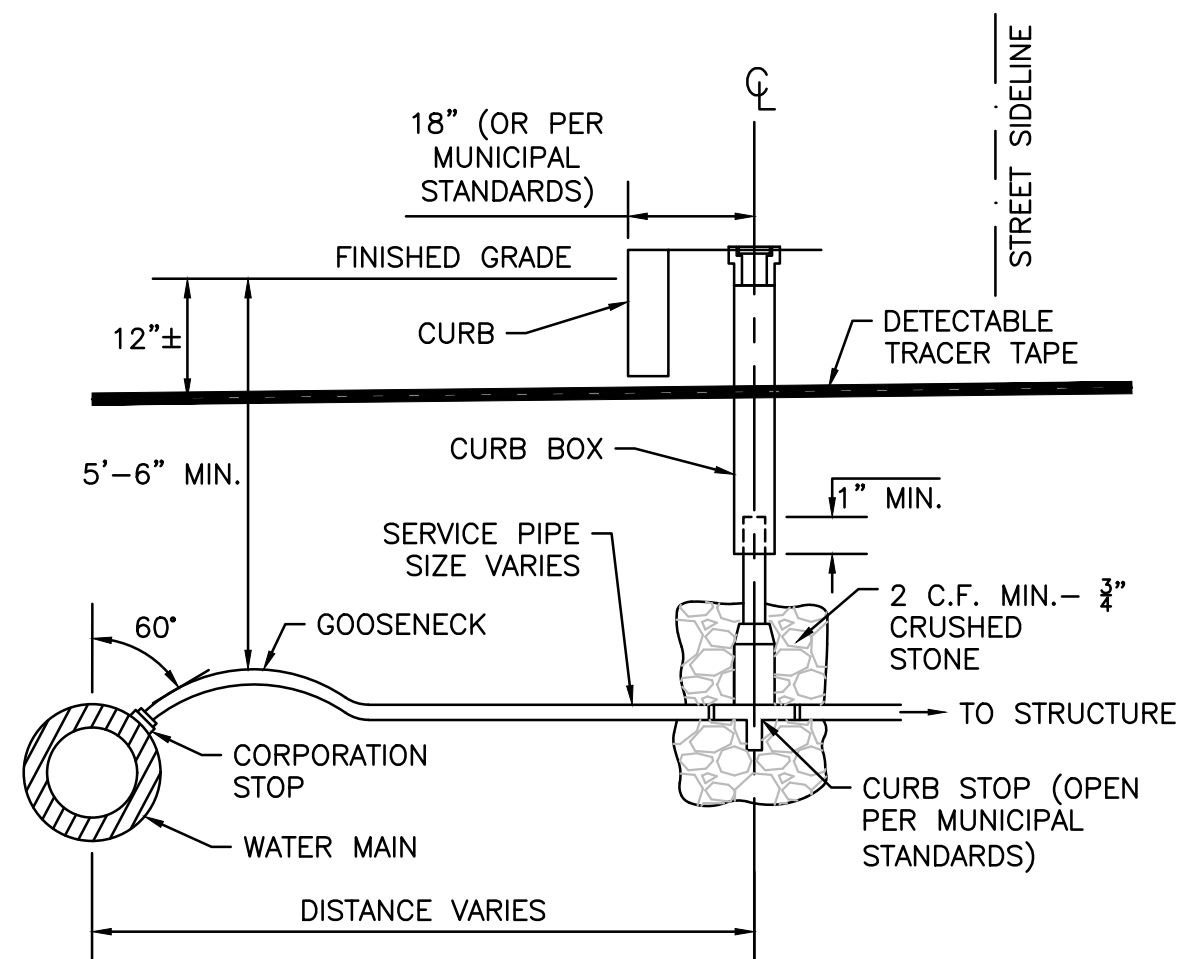
4

- NOTES:**
- MINIMUM BURIAL DEPTH (FINISH GRADE TO TOP OF PIPE)
GRAVITY PIPE (SEWER & DRAIN) - SEE PLAN OR PROFILE
PRESSURE PIPE UNDER PAVING - 4'
PRESSURE PIPE BENEATH UNPAVED - 3'
WATER PIPE - 5'
 - WHERE BACKFILL IS DESIGNATED AS COMPACTED, THIS MEANS 90 TO 95% STANDARD PROCTOR. AASHTO T-99. ALL FILL PLACED BELOW PIPES AND STRUCTURES MUST MEET THIS REQUIREMENT.
 - TRENCHES WITHIN PUBLIC RIGHT OF WAY MAY REQUIRE FLOWABLE FILL. VERIFY WITH MUNICIPAL ENGINEER.
 - WHERE WASTE FILLS ARE ENCOUNTERED AT SUBGRADE LEVEL FOR NEW UTILITIES, THE FILL SHOULD BE OVER-EXCAVATED, THE SUBGRADE SHOULD BE RE-COMPACTED, AND BACKFILL CONSISTING OF PIPE BEDDING MATERIAL, CRUSHED STONE OR OTHER SUITABLE GRANULAR FILL SHOULD BE PLACED TO A SUFFICIENT DEPTH TO CREATE A FIRM AND STABLE SUBGRADE (TYPICALLY 12 TO 18 INCHES OVER-EXCAVATION).
 - REFER TO PAVING, CURBS, WALKS AND DRIVEWAY DETAILS.
 - REFER TO LANDSCAPING DETAILS.

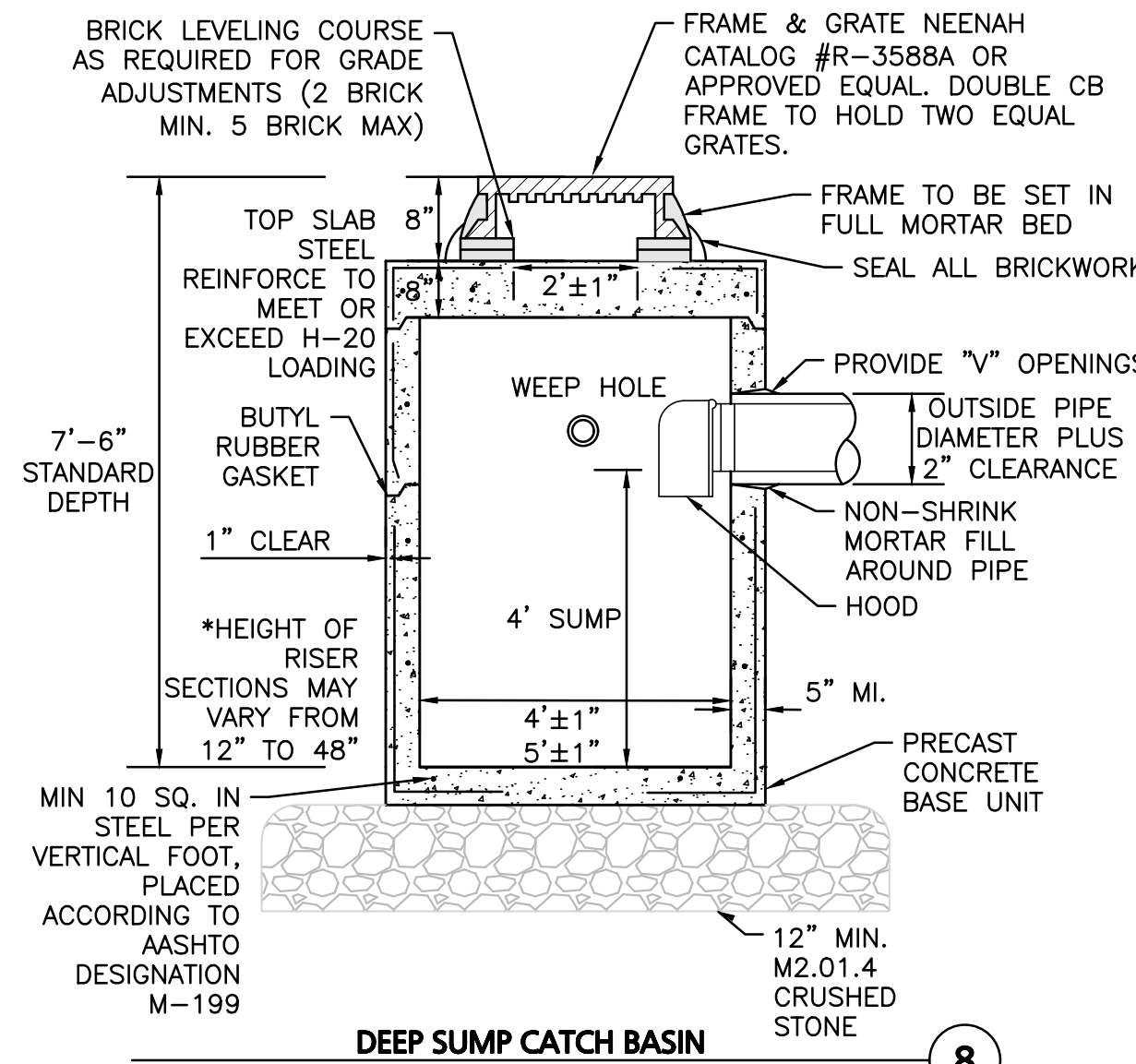
	FILTER FABRIC USE	
	SOIL TYPE	
	SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED	FILTER FABRIC NOT REQUIRED



6



7



8

NOT USED
NOT TO SCALE

9

NOT USED
NOT TO SCALE

10



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
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DRAWING TITLE:

SHEET No.

DETAILS

C-503

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1. STEEL REINFORCED, COL JOINT SECURED MONOLITHIC CONCRETE STRUCTURES (INLET 875 LBS, MIDDLE 965 LBS, AND OUTLET 730 LBS). CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS. CONCRETE AIR ENTRAINED (5% TO 8.5% BY VOLUME). MANUFACTURED AND DESIGNED TO ASTM C858.
2. 2-POINT PICK USING RECESSED LIFTING POCKETS WITH A STANDARD HOOK.
3. FIBERGLASS SLATE (11 LBS/PIECE).
4. FRP COMPOSITE LID (38 LBS/PIECE) WITH CONCENTRATED LOAD CAPACITY OF 11,200 LBS.

1. INSTALL A CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR). IT IS CRITICAL THAT THE CLASS 5 BASE IS EVEN TO ENSURE THE FOXHOLE PIECES ALIGN VERTICALLY SUCH THAT THE TOP LIDS LAY FLUSH WITH THE TOP OF THE FOXHOLE PIECES AND ADJACENT BOULEVARD, SIDEWALK, OR PATH. THE DISTANCE FROM THE BACK OF THE CURB MAY VARY BASED ON SITE CONDITIONS. EXCAVATE 1'7" BELOW THE GUTTERLINE ELEVATION (I.E. THE BIORETENTION OVERFLOW ELEVATION) TO ACCOMMODATE THE 9" PONDING DEPTH, 6" CLASS 5 AGGREGATE, AND 4" RAIN GUARDIAN FOXHOLE BASE (INCLUDED). THEREFORE, THE TOP OF THE CLASS 5 COMPACTED BASE IS PRECISELY 1'1" BELOW THE GUTTERLINE ELEVATION. THE TOP OF THE RAIN GUARDIAN FOXHOLE INLET POINT WILL BE 7-1/2" ABOVE THE TOP OF THE CONCRETE BASE AND 1-1/2" BELOW THE GUTTERLINE ELEVATION TO ACCOMMODATE A SLOPED INLET FROM THE GUTTER TO THE RAIN GUARDIAN FOXHOLE.

2. SET RAIN GUARDIAN FOXHOLE INLET FIRST, FOLLOWED BY MIDDLE SECTION(S), AND FINALLY THE OUTLET ON THE PREPARED CLASS 5 BASE. POSITION RAIN GUARDIAN FOXHOLE OUTLET PIECE SO PRIMARY OUTLET ALIGNS WITH TOE OF BASIN SIDE SLOPE TO AVOID SOIL INTERFERENCE WITH REMOVABLE FILTER WALL.

3. SECURE MODULAR FOXHOLE PIECES AT EACH JOINT USING PROVIDED GALVANIZED TIE RODS.

4. INSTALL EXPANSION/CONTRACTION JOINT MATERIAL OR A SHEET OF POLY TO SERVE AS A BOND BREAK BETWEEN RAIN GUARDIAN FOXHOLE AND CONCRETE INLET BEFORE POURING INLET.

5. REMOVABLE FILTER WALL SHOULD BE INSTALLED WITH FILTER FABRIC FACING THE RAIN GUARDIAN FOXHOLE INLET.

RAIN GUARDIAN - FOXHOLE TYPICAL DETAIL
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NOT TO SCALE

1

NOT USED
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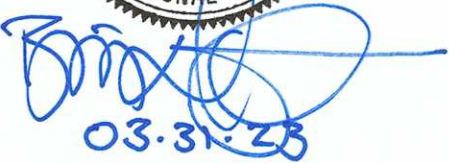
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PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION
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APPLICANT\OWNER:

SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:

TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO.	3115-01A	DATE:	03/31/2023
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SCALE: AS SHOWN DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:



**ALLEN & MAJOR
ASSOCIATES, INC.**

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environmental consulting ♦ landscape architecture
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WOBURN, MA ♦ LAKEVILLE, MA ♦ MANCHESTER, NH

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DRAWING TITLE:

DETAILS

SHEET No.

C-504

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CITY OF METHUEN ZONING SUMMARY - LANDSCAPE

REGULATION	ITEM	REQUIRED / ALLOWED	PROPOSED
SECTION 6.2.E(4)	A FIFTEEN-FOOT LANDSCAPED STRIP SHALL BE PROVIDED ADJACENT TO THE STREET RIGHT-OF-WAY LINE WHEN A FRONT YARD IS USED FOR PARKING IN BUSINESS AND INDUSTRIAL DISTRICTS.	FIFTEEN-FOOT LANDSCAPED STRIP.	>42' PROVIDED

LEGEND

DECIDUOUS TREE	
EVERGREEN TREE	
FLOWERING TREE	
SHRUBS	
MULCH BED	
PERENNIALS	
WET DETENTION SEED MIX	
STONE EDGE	

NOTES:

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF METHUEN, MA AND OTHER SOURCES.
- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED
- SEE SHEET L-501 FOR NOTES AND DETAILS



PLANTING SCHEDULE -TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
DECIDUOUS SHADE AND FLOWERING TREES						
* GT	7	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	3" CAL.	AS SHOWN	B&B
* UA	4	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3" CAL.	AS SHOWN	B&B
ORNAMENTAL TREES						
* AC	2	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	6-7" HT.	AS SHOWN	B&B
* MR	6	MALUS 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	2.5-3" CAL.	AS SHOWN	B&B
EVERGREEN TREES						
* TOS	22	THUJA OCCIDENTALIS 'SMARAGD'	AMERICAN ARBORVITAE	5-6' HT.	36" O.C.	B&B
SHRUBS						
* CA	17	CLETHRA ALNIFOLIA	SUMMERSWEET	#5	48" O.C.	POT
* CS	19	CORNUS SERICEA 'FARROW'	ARCTIC FIRE DOGWOOD	#3	48" O.C.	POT
* IG	44	ILEX GLABRA 'DENSEA'	INKBERRY	#7	36" O.C.	POT
PERENNIALS/GRASSES						
CK	23	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	24" O.C	STAGGERED
* EP	12	EUTROCHIMUM PURPUREUM 'LITTLE JOE'	SWEET JOE PYE WEED	#3	48" O.C.	STAGGERED
HR	72	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#1	18" O.C.	STAGGERED
NF	25	NEPETA X FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	#2	24" O.C.	STAGGERED
* SS	25	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#2	18" O.C.	STAGGERED
SEED MIX						
SEED	TBD	WET DETENTION BASIN	RAIN GARDEN	1 LB	AS SHOWN	SEE NOTES
LAWN	TBD	LOAM AND SEED	DISTURBED AREAS	1 LB	AS SHOWN	SEE NOTES
* DENOTES NATIVE SPECIES OR NATIVE CULTIVAR						
SEED MIXES FROM NEW ENGLAND WETLAND PLANTS. WWW.NEWP.COM						

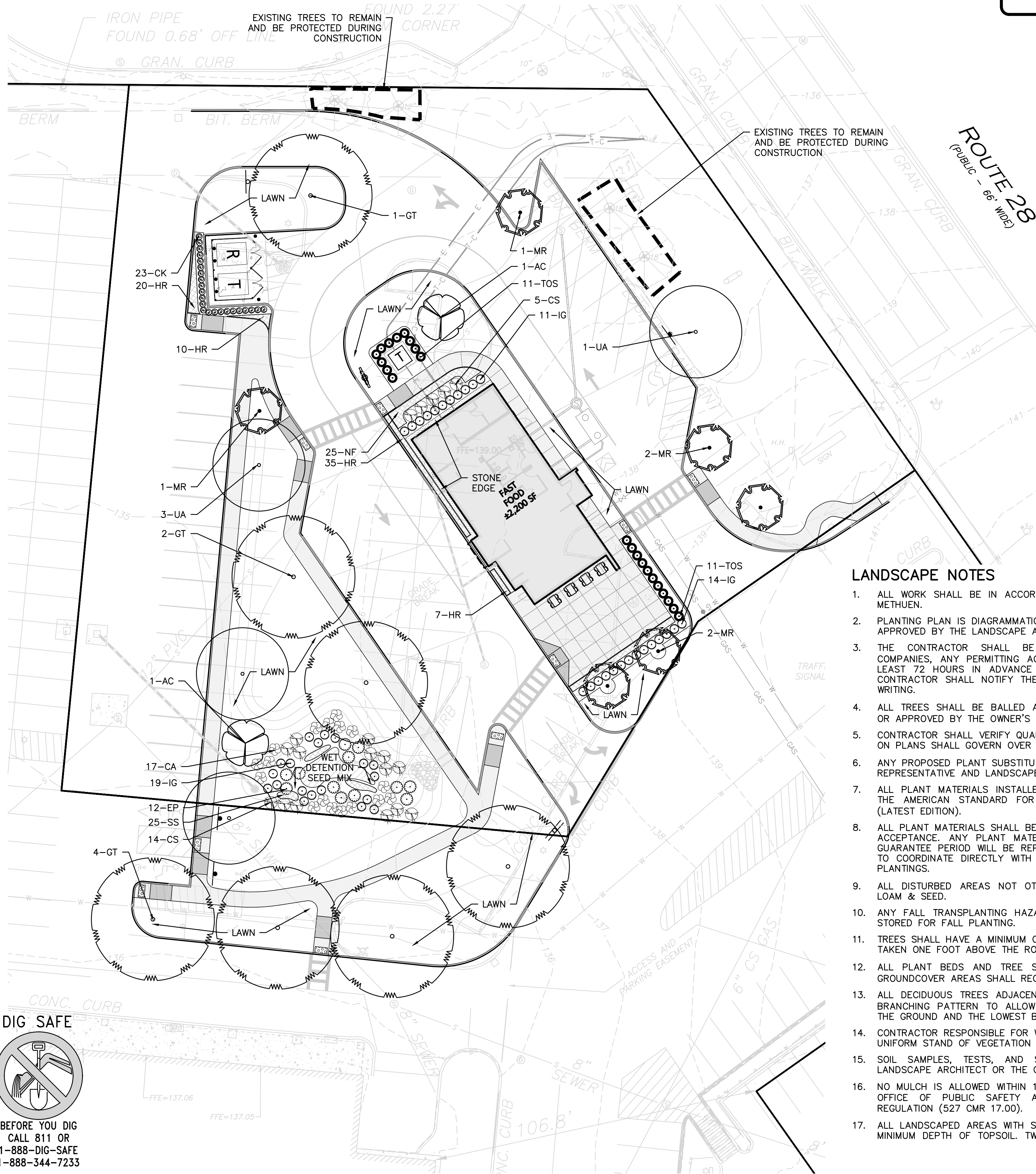
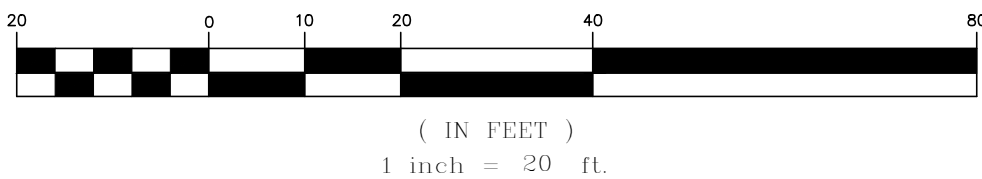
LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF METHUEN.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (LATEST EDITION).
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH DIE WITHIN THE ONE YEAR PLANT GUARANTEE PERIOD WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR. OWNERS TO COORDINATE DIRECTLY WITH THE LANDSCAPE CONTRACTOR FOR REPLACEMENT PLANTINGS.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUNDCOVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- CONTRACTOR RESPONSIBLE FOR WATERING AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- NO MULCH IS ALLOWED WITHIN 18" OF ALL BUILDINGS PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00).
- ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 2 FEET MINIMUM DEPTH OF TOPSOIL. TWO FEET OF TOPSOIL AROUND TREES AND SHRUBS

DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL, DEMOLITION, AND LANDSCAPE CONTRACTORS TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 2 FEET MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET. SEE TOPSOIL DETAIL.

- PRIOR TO LAYING TOPSOIL, ALL SUBSOIL (BELOW PROPOSED TOPSOIL) TO BE TILLED TO A DEPTH OF AT LEAST 18" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
- ALL SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS. CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS & UNTIL SLOPES ARE FULLY STABLE. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING.
- AFTER SEEDING, ALL AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTINUALLY WATERED EVERY DAY SO THAT SEED IS KEPT MOIST UNTIL SEED IS ESTABLISHED & APPROVED BY A&M LANDSCAPE ARCHITECT (USE NO HAY).
- IF THERE IS NO PROPOSED IRRIGATION SYSTEM AFTER PLANTINGS & LAWNS & SEEDED AREAS HAVE BEEN INSTALLED, LANDSCAPE CONTRACTOR RESPONSIBLE TO TEMPORARILY WATER ALL INSTALLED PLANTINGS, SEEDED AREAS, & LAWN AREAS MIN. 4 TIMES A WEEK DURING INITIAL ESTABLISHMENT PERIOD OF 6 MONTHS AFTER ALL LANDSCAPING IS INSTALLED.
- ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.
- SEEDING OF BIORETENTION & DETENTION AREAS & OTHER SLOPE AREAS SHALL OCCUR IN THE DRY AFTER SLOPES ARE COMPACTED. IT IS IMPORTANT THAT THE BIORETENTION AREAS/ DETENTION BASIN BE SEEDD AT THE BEGINNING OF THE PROJECT & PRIOR TO ANY DRAINAGE BEING DIRECTED TOWARDS THE BASIN. THE SEED AT DETENTION AREAS & OTHER SLOPED AREAS WILL NEED A MINIMUM OF 6 MONTHS TO INITIALLY ESTABLISH PRIOR TO THE DETENTION BASIN BEING UTILIZED SO THAT THERE IS NOT EROSION & SLOPE FAILURE. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT. SEE SEED MIX DETAIL NOTES.

GRAPHIC SCALE



DIG SAFE



BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233



PROFESSIONAL LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:

SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:

TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 20' DWG. NAME: L-3115-01A

DESIGNED BY: JBT CHECKED BY: BDJ

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
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DRAWING TITLE:

LANDSCAPE PLAN

SHEET NO.

L-101

LOAM AND SEED NOTES:

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREeping RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

1. SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.

2. SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS PER ACRE). CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING.

3. COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIZE SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.

4. LAWN AREAS TO BE SEEDDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.

5. CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

WET DETENTION BASIN SEED MIX:

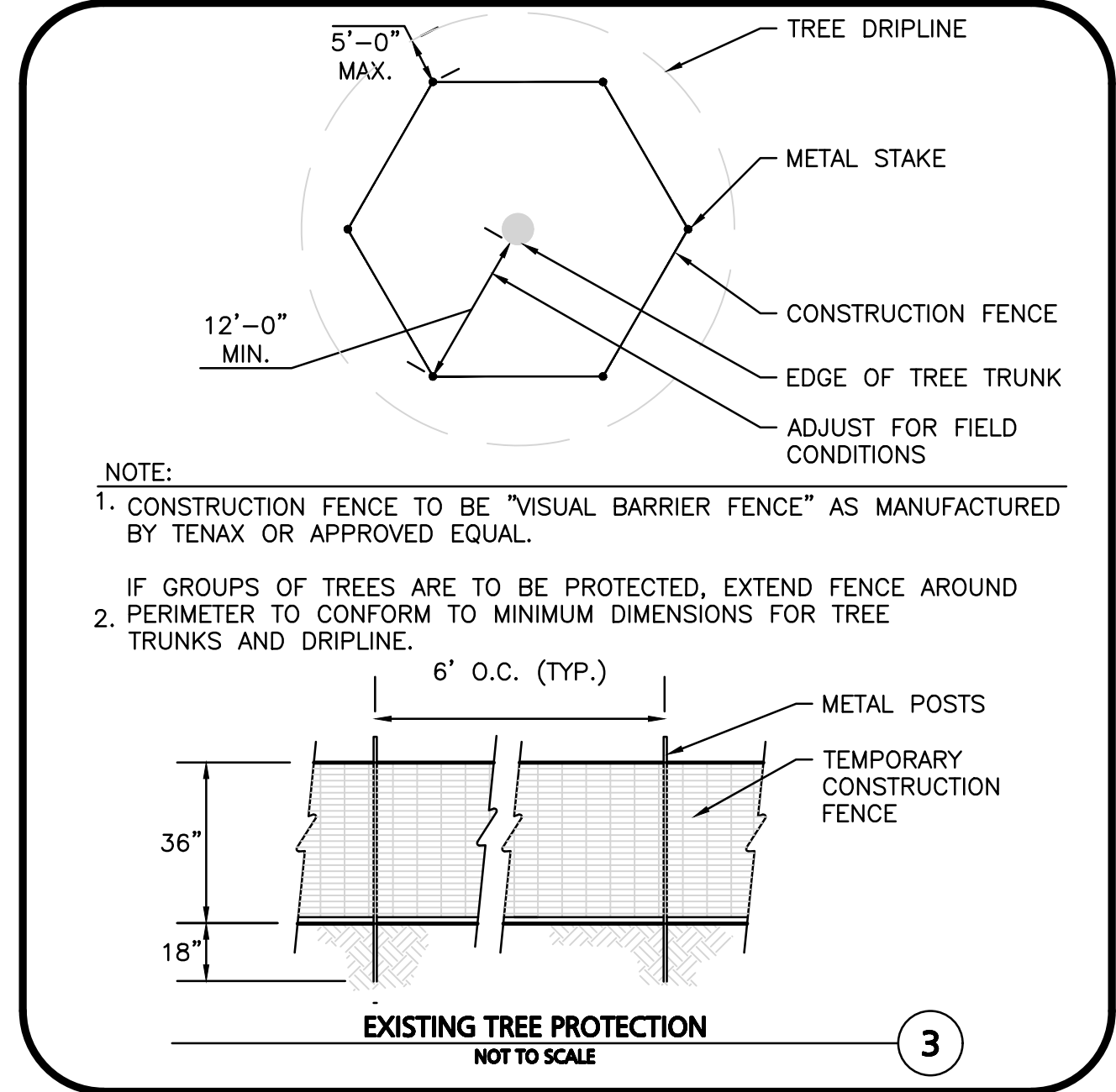
NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES

(BY NEW ENGLAND WETLAND PLANTS INC. - NEWP.COM)
APPLICATION RATE: 35 LBS/ACRE :1250 SQ FT/LB

ITEM	BOTANICAL NAME	COMMON NAME	INDICATOR
1.	ELYMUS RIPARIUS	RIVERBANK WILD RYE	FACW
2.	FESTUCA RUBRA	RED FESCUE	FACU
3.	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
4.	PANICUM VIRGATUM	SWITCH GRASS	FAC
5.	ANDROPOGON GERARDII	BIG BLUESTEM	FACU
6.	VERBENA HASTATA	BLUE VERVAIN	FACW
7.	AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU
8.	BIDENS CERNUA	NODDING BUR MARIGOLD	OBL
9.	EUPATORIUM FISTULOSUM	HOLLOW-STEM JOE PYE WEED	FACW
10.	EUPATORIUM PERFOLIATUM	BONESET	FACW
11.	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	FACW
12.	SCIRPUS CYPERINUS	WOOL GRASS	OBL
13.	JUNCUS EFFUSUS	SOFT RUSH	OBL

THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. IT IS AN APPROPRIATE SEED MIX FOR ECOLOGICALLY SENSITIVE RESTORATIONS THAT REQUIRE STABILIZATION AS WELL AS LONG-TERM ESTABLISHMENT OF NATIVE VEGETATION.

THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS THAT DO NOT HOLD STANDING WATER. MANY OF THE PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. THE MIX MAY BE APPLIED BY HAND, BY MECHANICAL SPREADER, OR BY HYDROSEEDER. AFTER SOWING, LIGHTLY RAKE, ROLL OR CULPACK TO INSURE GOOD SEED-TO-SOIL CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE SUMMER SEEDING. LATE FALL AND WINTER DORMANT SEEDING REQUIRES AN INCREASE IN THE APPLICATION RATE. A LIGHT MULCHING OF CLEAN, WEED-FREE STRAW IS RECOMMENDED.

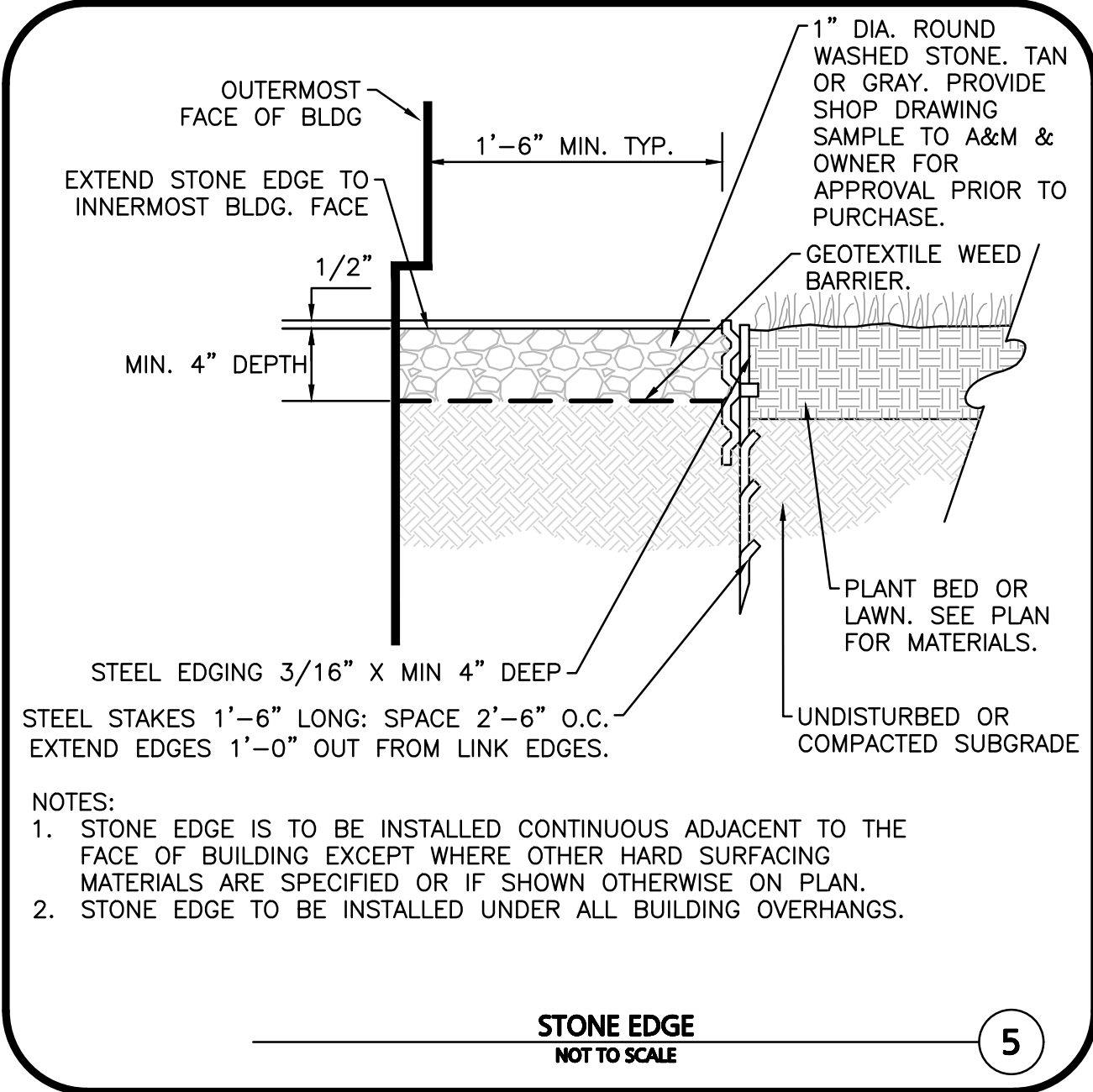


- NOTES:
- TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
 - ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLOUDS, STICKS, TRASH, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
 - THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS.
 - TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS

NOT TO SCALE

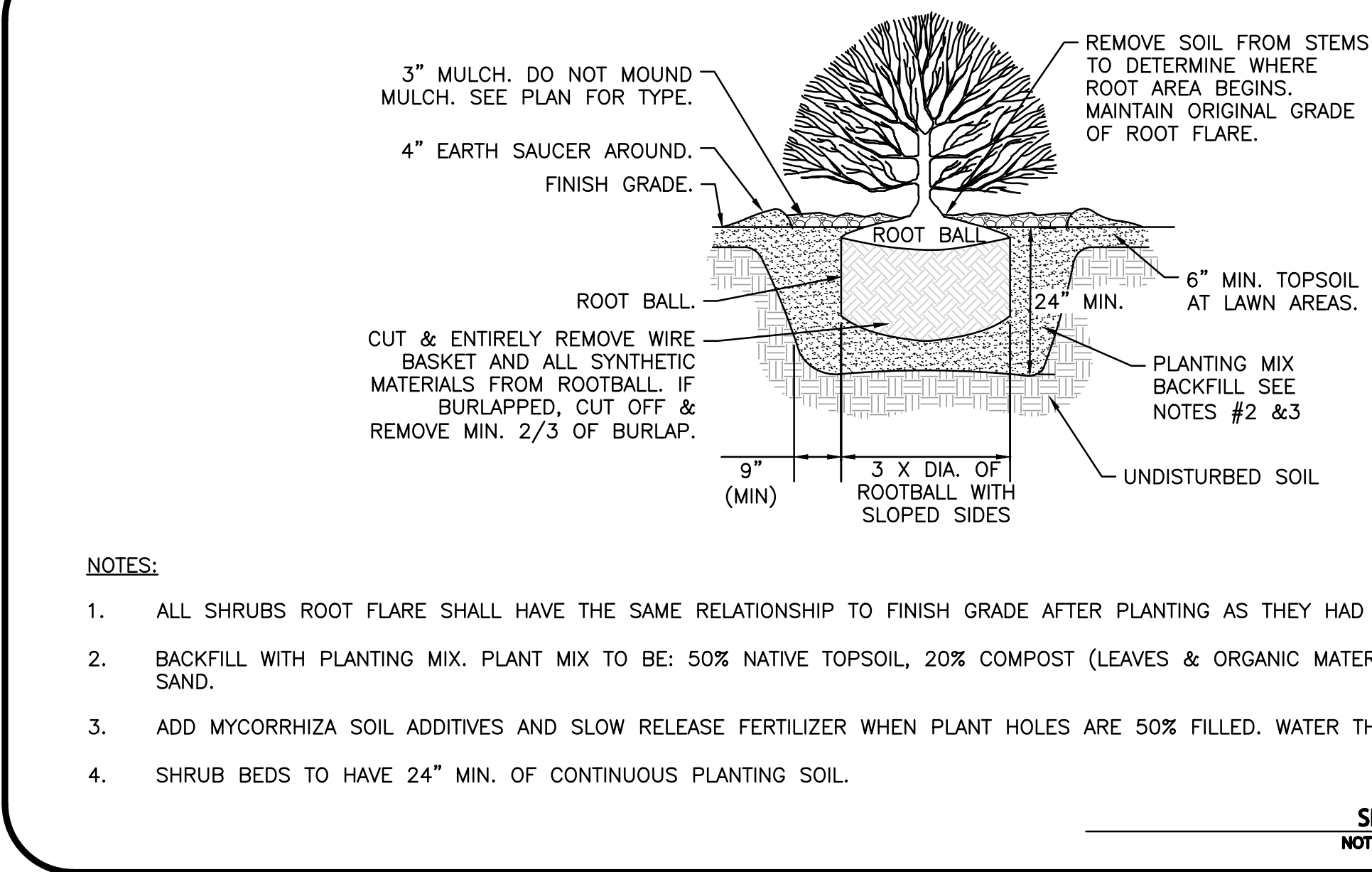
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STONE EDGE

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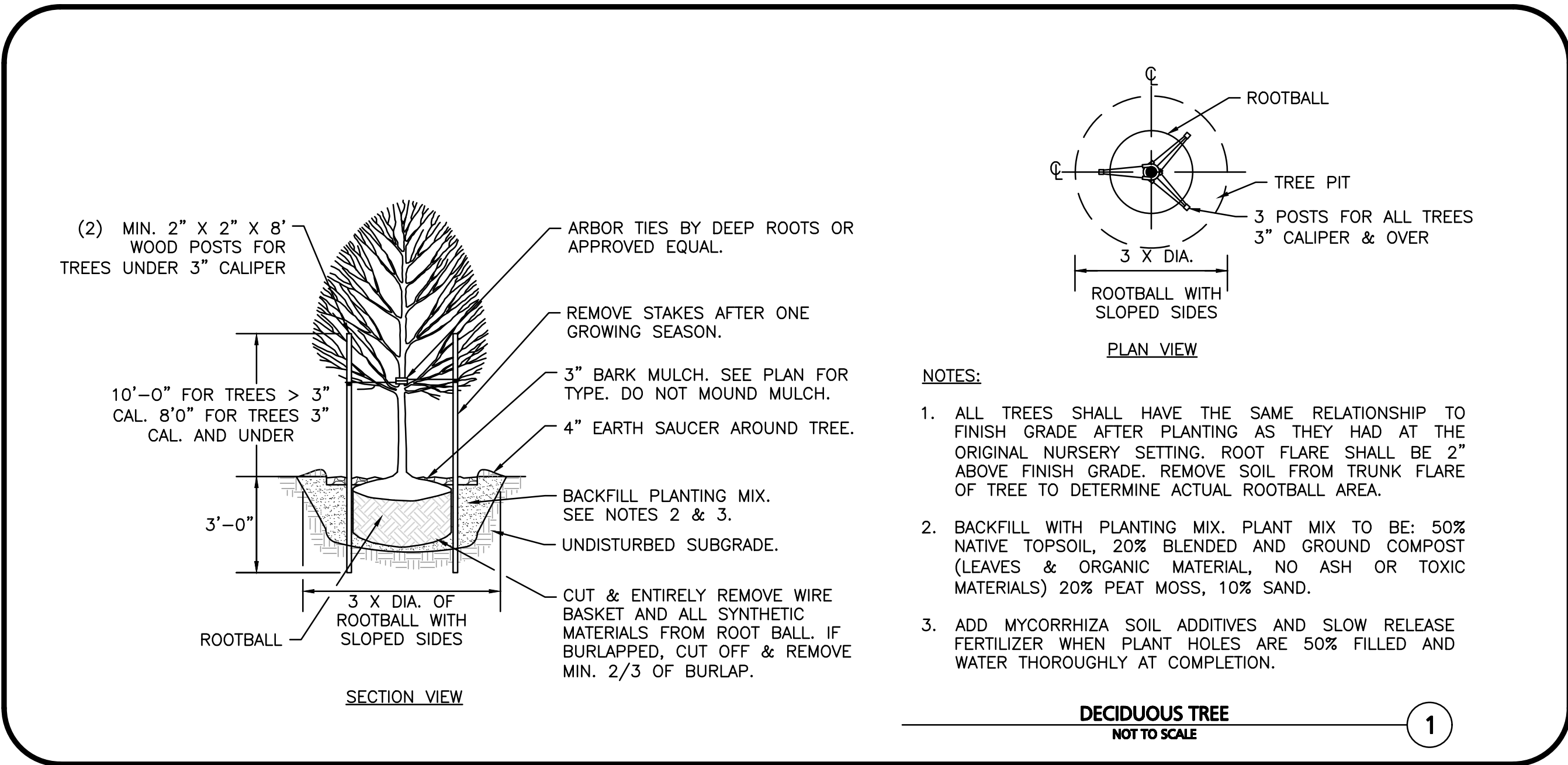


- NOTES:
- ALL SHRUBS ROOT FLARE SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING.
 - BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
 - ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED. WATER THOROUGHLY AT COMPLETION.
 - SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.

SHRUB

NOT TO SCALE

2

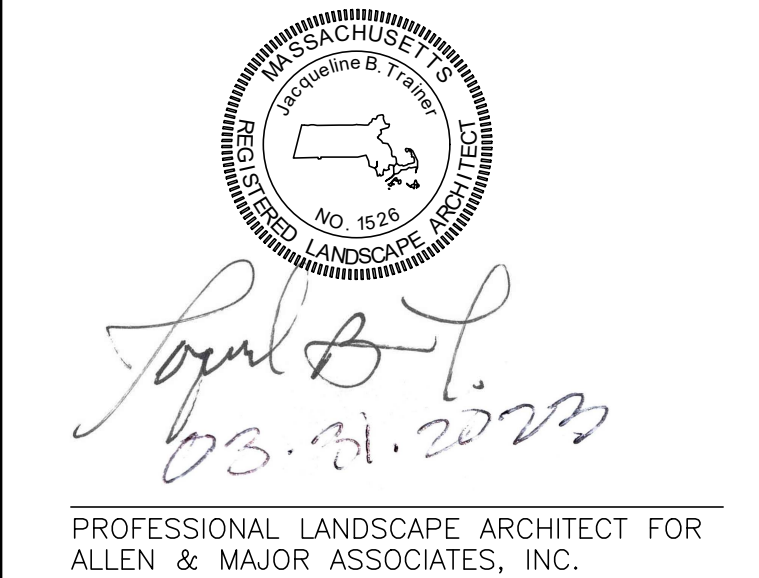


- NOTES:
- ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
 - BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% BLENDED AND GROUND COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH OR TOXIC MATERIALS) 20% PEAT MOSS, 10% SAND.
 - ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

DECIDUOUS TREE

NOT TO SCALE

1



REV	DATE	DESCRIPTION

APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:
TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023
SCALE: AS SHOWN DWG. NAME: L-3115-01A

DESIGNED BY: JBT CHECKED BY: BDJ



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