

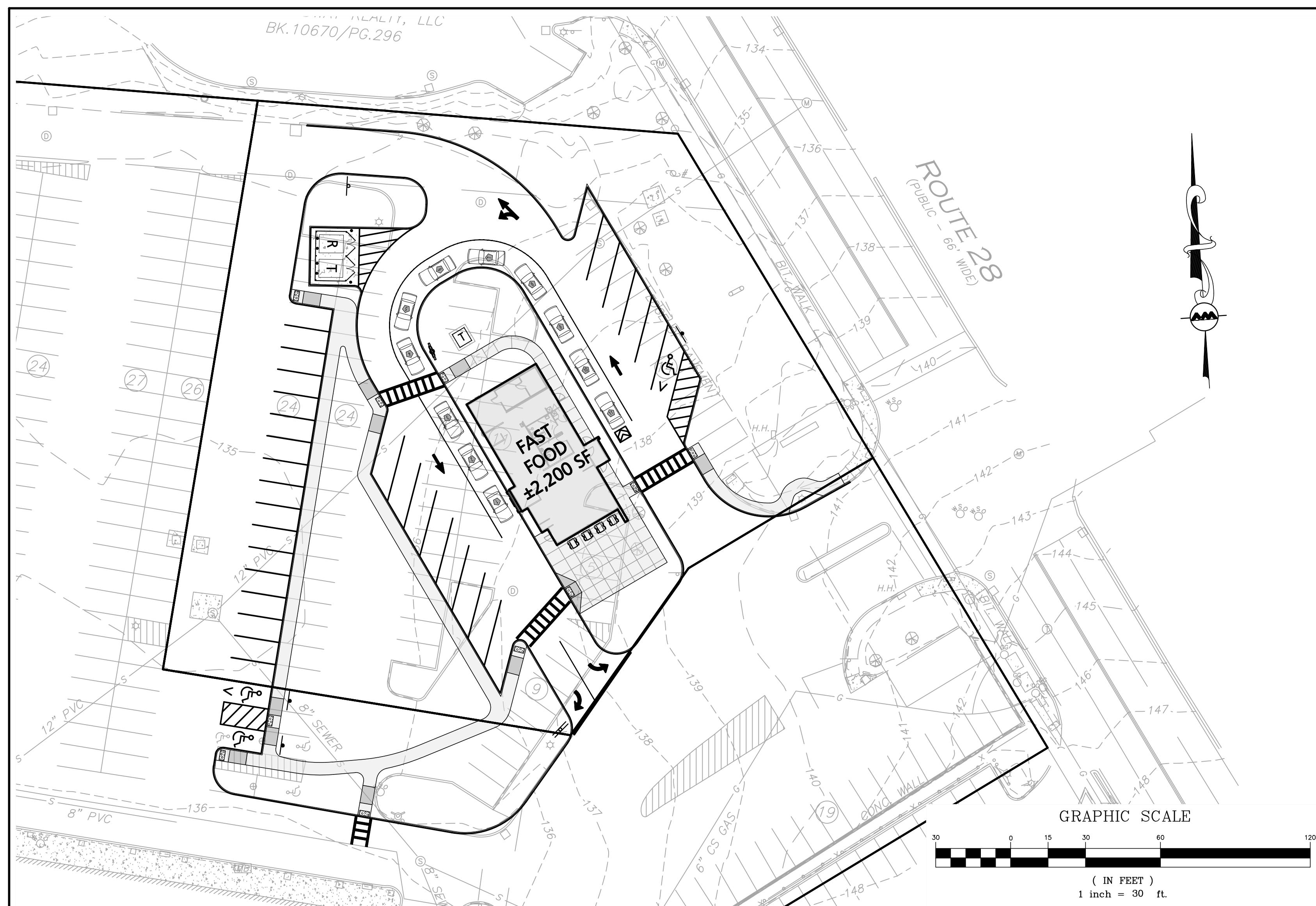
LOCUS MAP
NOT TO SCALE

APPLICANT/OWNER:
SHRI SWAMIINE LLC
PO BOX 2022
DANVERS, MA 01923

CIVIL ENGINEER:
ALLEN & MAJOR ASSOCIATES, INC.
400 HARVEY ROAD
MANCHESTER, NH 03103

SURVEYOR:
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY
WOBURN, MA 01801

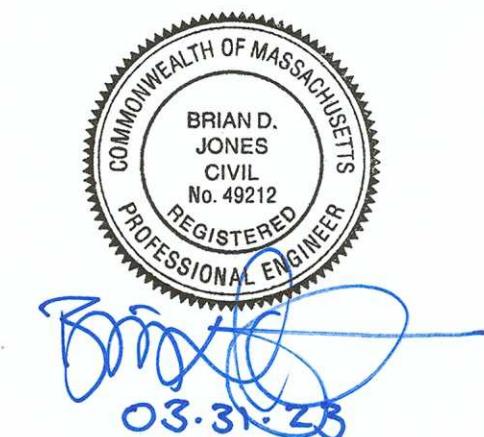
SITE DEVELOPMENT PLANS FOR TACO JOHN'S 436 BROADWAY METHUEN, MA 01844



LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REV1
EXISTING CONDITIONS PLAN	1	03-31-23	-
SITE PREPARATION PLAN	C-100	03-31-23	-
OVERALL SITE PLAN	C-101	03-31-23	-
LAYOUT & MATERIALS PLAN	C-102	03-31-23	-
GRADING & DRAINAGE PLAN	C-103	03-31-23	-
UTILITIES PLAN	C-104	03-31-23	-
TRUCK TURNING PLAN	C-105	03-31-23	-
DETAILS	C-501	03-31-23	-
DETAILS	C-502	03-31-23	-
DETAILS	C-503	03-31-23	-
DETAILS	C-504	03-31-23	-
LANDSCAPING PLAN	L-101	03-31-23	-
LANDSCAPING DETAILS	L-501	03-31-23	-



CITY OF METHUEN APPROVAL STAMP



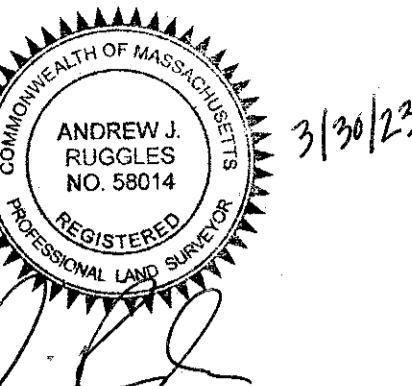
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ALLEN & MAJOR ASSOCIATES, INC.



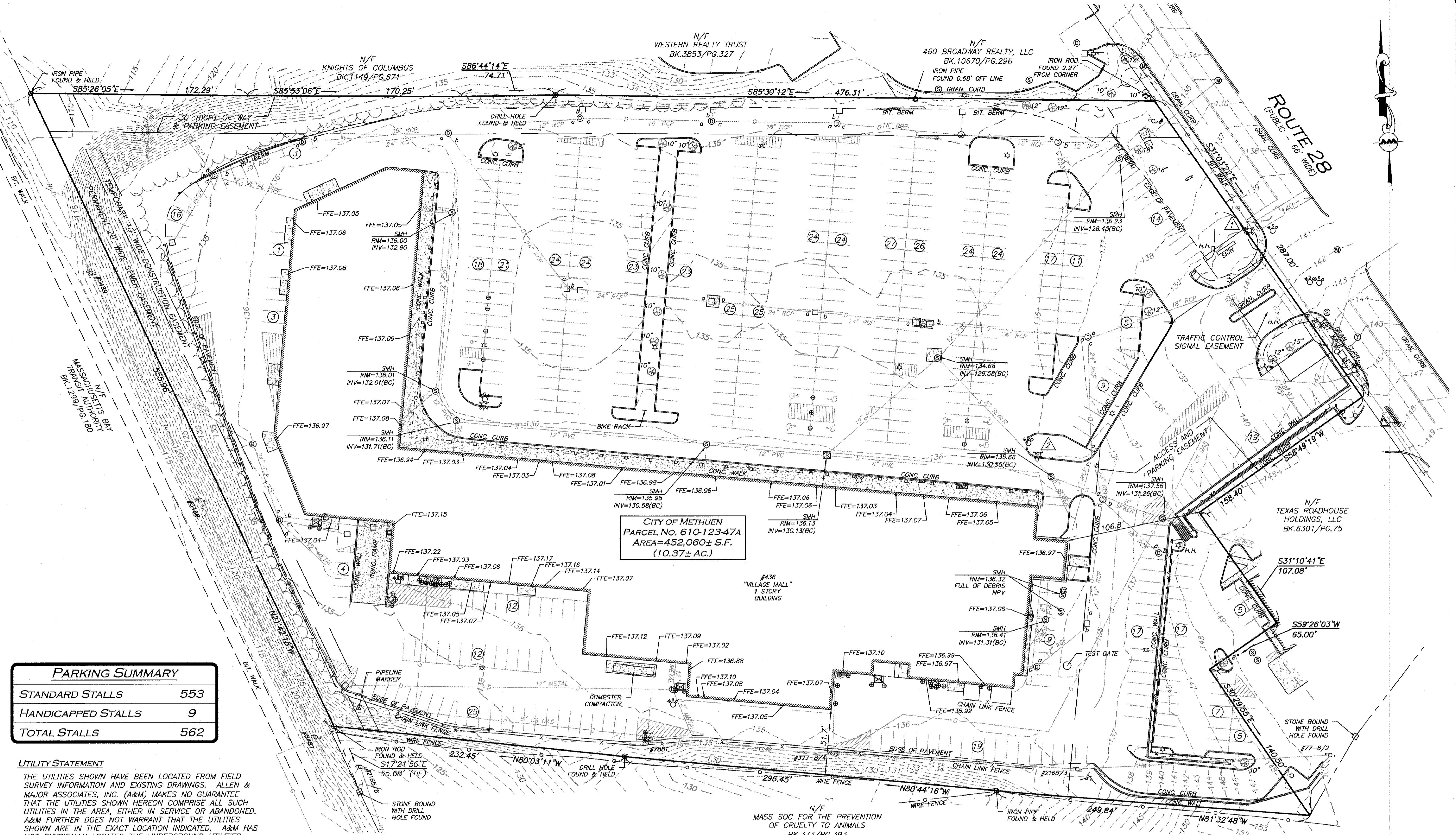
civil engineering • land surveying
environmental consulting • landscape architecture
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WOBURN MA 01801
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FAX: (781) 935-2896

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ISSUED FOR SITE PLAN REVIEW: MARCH 31, 2023



PROFESSIONAL LAND SURVEYOR FOR
ALLEN & MAJOR ASSOCIATES, INC.



LEGEND	
RAILROAD SPIKE	△
STONE BOUND (SB)	□
DRAIN MANHOLE (DMH)	○
SEWER MANHOLE (SMH)	◎
MISC. MANHOLE (MH)	●
TELEPHONE MANHOLE (TMH)	○
CATCH BASIN (CB)	□
ROUND CATCH BASIN (RCB)	○
UTILITY POLE	○
UTILITY POLE W/LIGHT	○
GUY WIRE	○
FIRE HYDRANT	○
WATER GATE	○
GAS GATE	○
BOLLARD	○
LIGHT	○
WETLAND FLAG	○
GAS METER	○
HANDICAPPED PARKING SPACE	□
PAINTED ARROW	→
PARKING SPACE COUNT	16
GAS LINE	—
OVERHEAD WIRES	—
FINISHED FLOOR ELEVATION	FFE
CONCRETE	—
LANDSCAPED AREA (LSA)	—
BUILDING	—
WETLAND	—
BUFFER ZONE	—
1' CONTOUR	—
5' CONTOUR	—
PROPERTY LINE	—
ABUTTERS LINE	—
EDGE OF PAVEMENT	—
CURB	—
CHAIN LINK FENCE	—
WATER LINE	—
SEWER LINE	—
DRAIN LINE	—
CONCRETE	—
BITUMINOUS	—
GRANITE	—
BOTTOM CENTER	(BC)
REINFORCED CONCRETE PIPE	RCP
POLYVINYL CHLORIDE PIPE	PVC
NO PIPES VISIBLE	NPV
TOP OF WATER	TW
CAST IRON	CI
STONE BOUND W/DRILL HOLE	SB/DH
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.

LOCUS REFERENCES

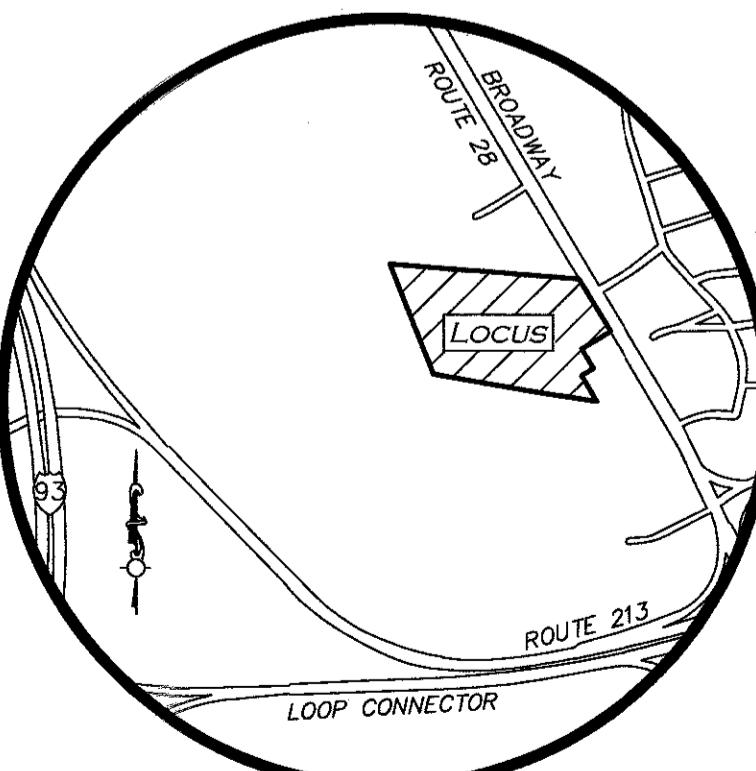
-TOWN OF METHUEN PARCEL NO. 610-123-47A
-RECORD OWNER: SHRI SWAMINE LLC
-DEED BOOK 17223, PAGE 192
-PLAN 9591

PLAN REFERENCES

-PLAN NO. 288
-PLAN NO. 1309
-PLAN NO. 3704
-PLAN NO. 4580
-PLAN NO. 6040
-PLAN NO. 8046
-PLAN NO. 11577
-PLAN NO. 14081
-S.H.L.O. NO. 6639 (1984)

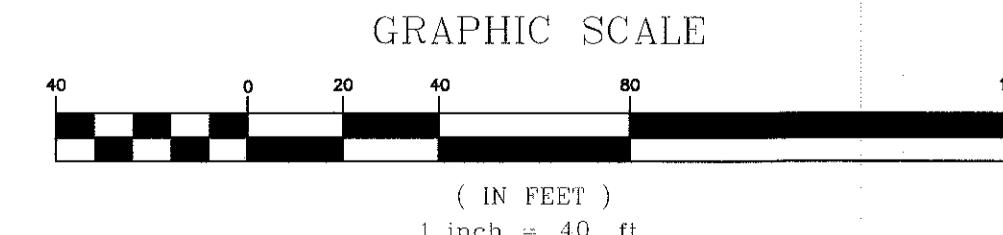
NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM ESSEX (NORTH) REGISTRY OF DEEDS IN ANDOVER, MA.
3. VERTICAL DATUM IS NAVD 88 ESTABLISHED USING RTK GPS OBSERVATION.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. SURVEY WAS PERFORMED UNDER SNOW AND ICE CONDITIONS.
6. MANHOLES IN ROUTE 28 WERE UNABLE TO BE OPEN DUE TO BEING FROZEN SHUT AND OR BOLTED SHUT.



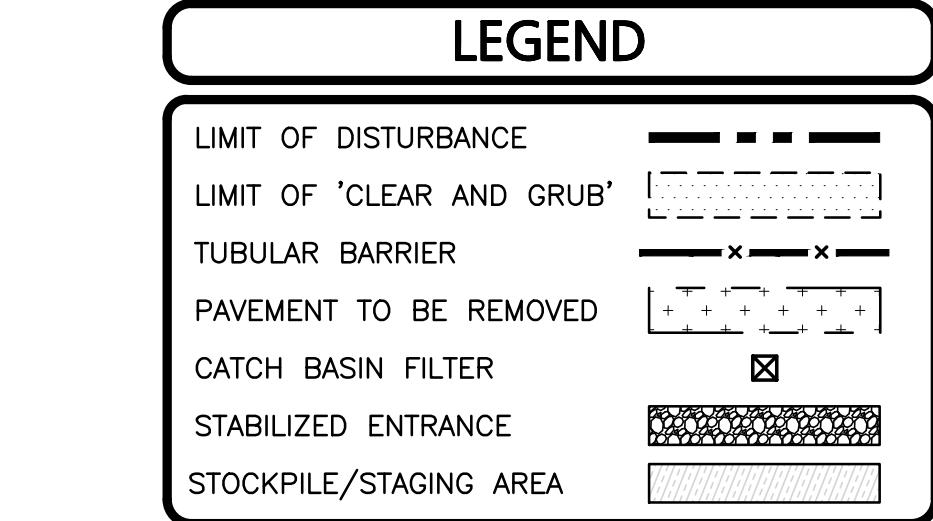
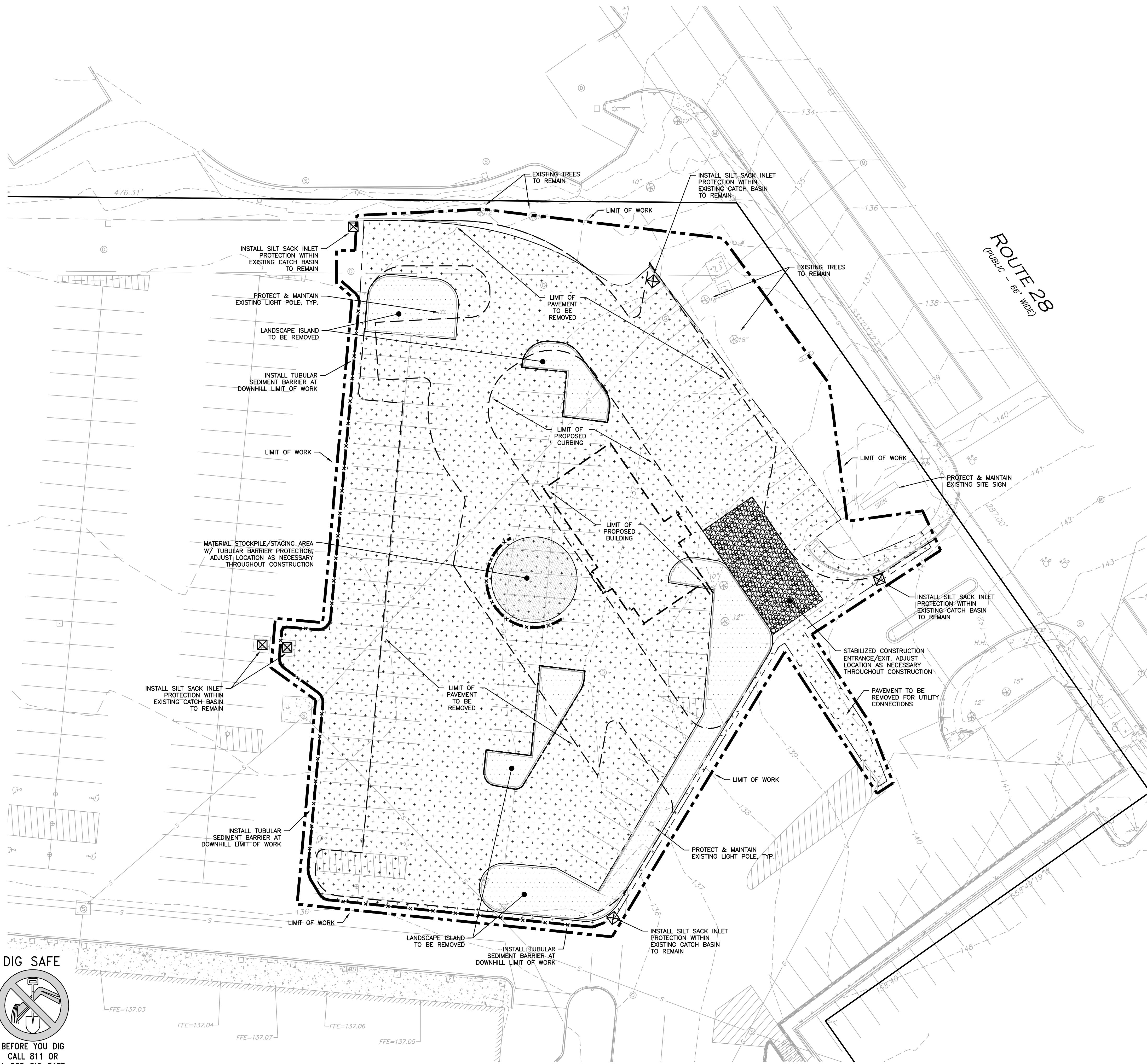
LOCUS MAP
(NOT TO SCALE)

TBM #	DESCRIPTION	ELEV.
1	X-CUT ON HYDRANT FLANGE BOLT	142.49
2	X-CUT ON HYDRANT FLANGE BOLT	138.15



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DRAWING TITLE: EXISTING CONDITIONS
SHEET NO. 1
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PROFESSIONAL ENGINEER FOR
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REV DATE DESCRIPTION
APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:
TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 20' DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:

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environmental consulting • landscape architecture
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DRAWING TITLE: SITE PREPARATION PLAN SHEET NO. C-100
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LEGEND

PROPERTY LINE	
SIGN	—
BOLLARD	•
BUILDING	■■■■■
BUILDING ARCHITECTURE	■■■■■
BUILDING INTERIOR WALLS	■■■■■
CURB	—
RETAINING WALL	—
PARKING STRIPING	—
ROADWAY STRIPING	—
TRAFFIC ARROWS	→ ←
HEAVY DUTY CONCRETE	■■■■■
SIDEWALK	—
ADA ACCESSIBLE RAMP	▲
ADA DET. WARNING SURFACE	■■■■■
SNOW STORAGE	■■■■■
SETBACK LINE	—
SAW-CUT LINE	—
PARKING COUNT	⑩
WOOD FENCE	—
TRANSFORMER	T
VERTICAL CONCRETE CURB	VCC
MONOLITHIC CONCRETE CURB	MCC
VERTICAL GRANITE CURB	VGC

ZONING SUMMARY TABLE HIGHWAY BUSINESS DISTRICT (BH)

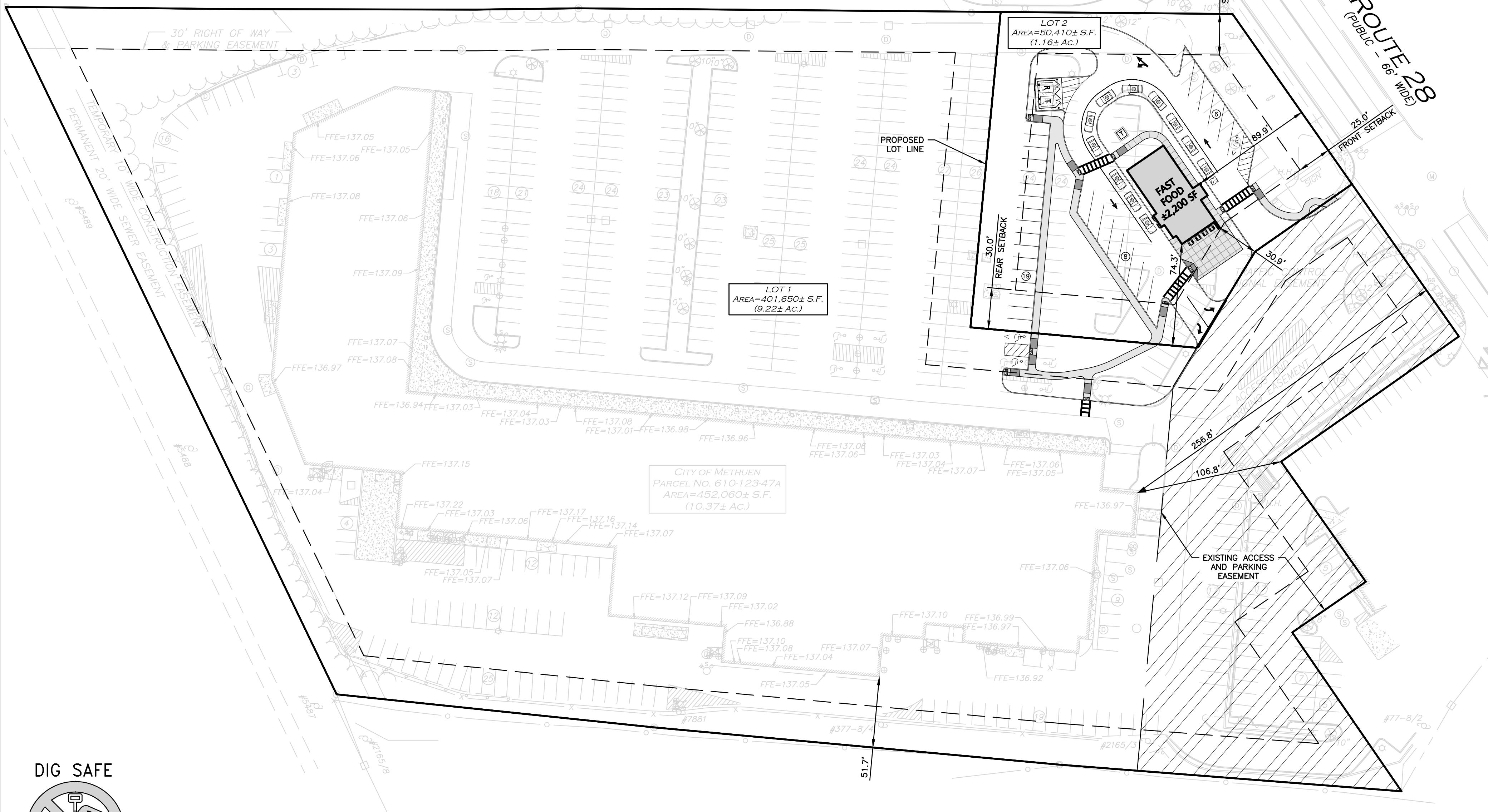
ITEM	REQUIRED	EXISTING	LOT 1	LOT 2
MINIMUM LOT AREA	10,000 SF	452,060± SF	401,650± SF	50,410± SF
MINIMUM FRONTAGE	100 FT	287.0± FT	135.5± FT	151.5± FT
MINIMUM LOT WIDTH	100 FT	287.0± FT	103.3± FT	165.4± FT
MINIMUM FRONT YARD SETBACK	25 FT	256.8± FT	256.8± FT	89.9± FT
MINIMUM SIDE YARD SETBACK	30 FT	106.8± FT	106.8± FT	30.9± FT
MINIMUM REAR YARD SETBACK	30 FT	51.7± FT	51.7± FT	74.3± FT
MAXIMUM NUMBER OF STORIES	3	1	1	1
MAXIMUM BUILDING HEIGHT	40 FT	EXISTING	EXISTING	22 FT
MAXIMUM LOT COVERAGE	35%	21.5±%	24.4±%	4.4±%

NOTES:

1. A SPECIAL PERMIT IS NEEDED FROM THE COMMUNITY DEVELOPMENT BOARD FOR A DRIVE-THROUGH RESTAURANT USE.
2. THE MAXIMUM LOT COVERAGE WAS CALCULATED BY DIVIDING THE BUILDING FOOTPRINT BY THE LOT AREA.

NOTES:

1. ALL CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
2. PARKING DIMENSIONS ARE TAKEN FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF METHUEN, MADOT, MADEP, MUTCD, AND AASHTO.
5. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
6. EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC IN FEBRUARY OF 2023, AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF METHUEN, MA AND OTHER SOURCES.
7. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY OF METHUEN, MA DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
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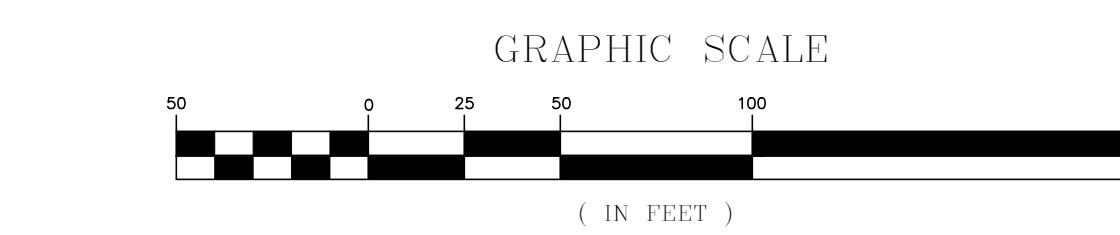
SHARED PARKING SUMMARY TABLE			
PARKING CALCULATIONS WERE DERIVED FROM THE METHUEN ZONING ORDINANCE — TABLE I OF REQUIRED OFF-STREET PARKING	REQUIRED PARKING	EXISTING PARKING	PROPOSED PARKING
TENANT 1: RESTAURANT (RESTAURANT: 6,335 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*80 SEATS/4) = 20.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 24.0	24.0	—	—
TENANT 2: DOLLAR TREE (RETAIL: 11,482 S.F.) (1 PER 250 S.F. → 1 x (11,482 S.F./250 S.F.) = 45.9) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*10 EMP./2) = 5) = 50.9	50.9	—	—
TENANT 3: WAREHOUSE (WAREHOUSE: 10,000 S.F.) (1 PER 1,200 S.F. → 1 x (10,000 S.F./1,200 S.F.) = 8.3	8.3	—	—
TENANT 4: FAMILY RENTALS FURNITURE (RETAIL: 2,719 S.F.) (1 PER 250 S.F. → 1 x (2,719 S.F./250 S.F.) = 10.9) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*6 EMP./2) = 3) = 13.9	13.9	—	—
TENANT 5: BEAUTACIOUS NAILS (OFFICE: 1,915 S.F.) (1 PER 300 S.F. → 1 x (1,915 S.F./300 S.F.) = 6.4	6.4	—	—
TENANT 6: HARROWS CHICKEN PIES (RESTAURANT: 1,873 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*24 SEATS/4) = 6.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 10.0	10.0	—	—
TENANT 7: CHINA BUFFET (RESTAURANT: 7,514 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*9 SEATS/4) = 2.25) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*16 EMP./2) = 8) = 32.0	32.0	—	—
TENANT 8: WORK OUT WORLD (OTHER INSTITUTION: 21,361 S.F.) (1 PER 600 S.F. → 1 x (21,361 S.F./600 S.F.) = 35.6	35.6	—	—
TENANT 9: AMERICAN CABINET (RETAIL: 4,000 S.F.) (1 PER 250 S.F. → 1 x (4,000 S.F./250 S.F.) = 16.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 20.0	20.0	—	—
TENANT 10: BAY STATE EYE (OFFICE: 2,000 S.F.) (1 PER 300 S.F. → 1 x (2,000 S.F./300 S.F.) = 6.7	6.7	—	—
TENANT 11: DR. LYONS (OFFICE: 2,000 S.F.) (1 PER 300 S.F. → 1 x (2,000 S.F./300 S.F.) = 6.7	6.7	—	—
TENANT 12: MAYA GOURMET (RESTAURANT: 1,571 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*24 SEATS/4) = 6.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 10.0	10.0	—	—
TENANT 13: OFFICE (OFFICE: 400 S.F.) (1 PER 300 S.F. → 1 x (400 S.F./300 S.F.) = 1.3	1.3	—	—
TENANT 14: BLUSH SPA (OFFICE: 1,350 S.F.) (1 PER 300 S.F. → 1 x (1,350 S.F./300 S.F.) = 4.5	4.5	—	—
TENANT 15: FREEDOM TOBACCO (RETAIL: 1,520 S.F.) (1 PER 250 S.F. → 1 x (1,520 S.F./250 S.F.) = 6.1) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*6 EMP./2) = 3) = 9.1	9.1	—	—
TENANT 16: AVAILABLE (RETAIL: 3,913 S.F.) (1 PER 250 S.F. → 1 x (3,913 S.F./250 S.F.) = 15.7) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*10 EMP./2) = 5) = 20.7	20.7	—	—
TENANT 17: MERRIMACK VALLEY CREDIT UNION (OFFICE: 4,000 S.F.) (1 PER 300 S.F. → 1 x (4,000 S.F./300 S.F.) = 13.3	13.3	—	—
TENANT 18: JO-ANN FABRICS (RETAIL: 4,000 S.F.) (1 PER 250 S.F. → 1 x (4,000 S.F./250 S.F.) = 16.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*10 EMP./2) = 5) = 21.0	21.0	—	—
TENANT 19: PROPOSED FAST FOOD RESTAURANT (DRIVE-THROUGH RESTAURANT: 2,200 S.F.) (1 PER 250 S.F. → 1 x (2,200 S.F./250 S.F.) = 8.8) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*12 EMP./2) = 6) = 14.8	14.8	—	—
TOTAL PARKING REQUIRED BASED ON INDIVIDUAL USES: 309.2	—	—	—
TOTAL PARKING PROVIDED: 562	562	491	—

NOTES:

1. TENANT NAMES & SQUARE FOOTAGE VALUES WERE PROVIDED TO ALLEN & MAJOR ASSOCIATES BY THE CLIENT.
2. ** ALLEN & MAJOR ASSOCIATES APPROXIMATED VALUES.

ADA SPACES REQUIRED:
(401-500) TOTAL PARKING SPACES PROVIDED, 9 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 2 SPACES BEING VAN ACCESSIBLE.

PROVIDED: 9 SPACES, 5 BEING VAN ACCESSIBLE.



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION
APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:
TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 50' DWG. NAME: C-3115-01A

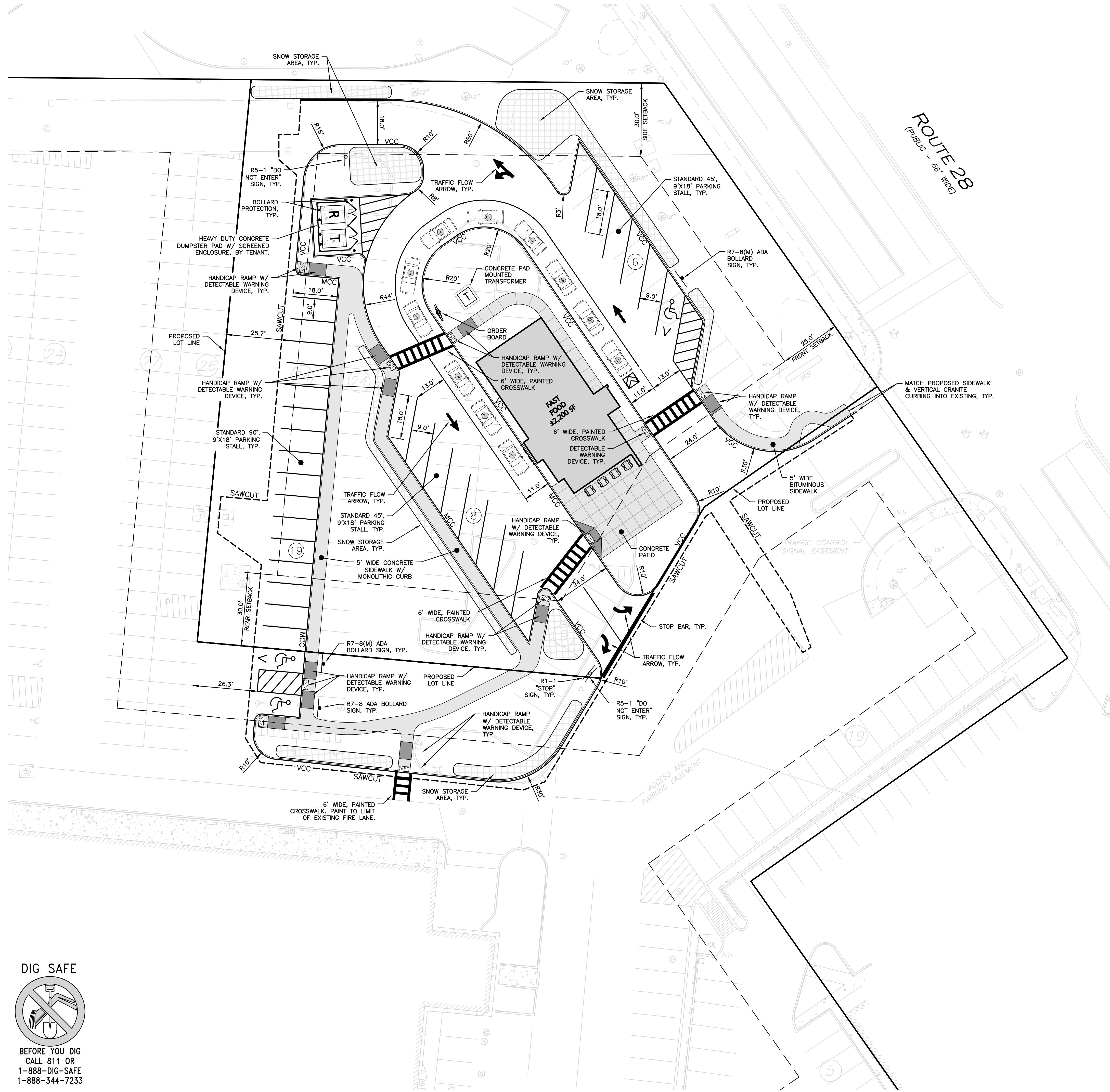
DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:

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civil engineering • land surveying
environmental consulting • landscape architecture
www.allen-maj.org
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
TEL: (781) 935-0889
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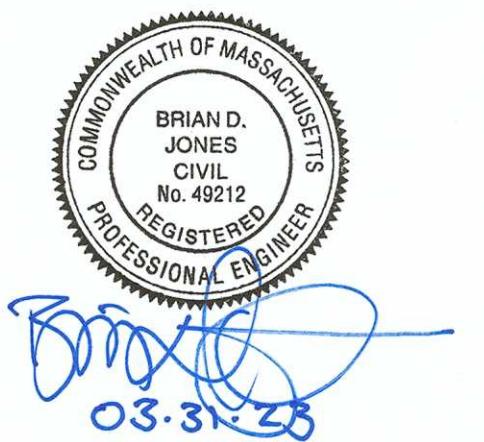
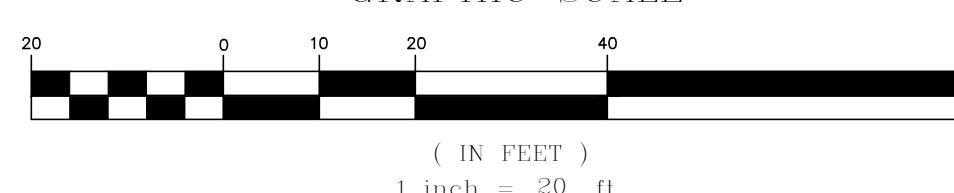


LEGEND		
PROPERTY LINE	—	—
SIGN	—	—
BOLLARD	●	●
BUILDING	—	—
BUILDING ARCHITECTURE	—	—
BUILDING INTERIOR WALLS	—	—
CURB	—	—
RETAINING WALL	—	—
PARKING STRIPING	—	—
ROADWAY STRIPING	—	—
TRAFFIC ARROWS	→	←
HEAVY DUTY CONCRETE	—	—
SIDEWALK	—	—
ADA ACCESSIBLE RAMP	—	—
ADA DET. WARNING SURFACE	—	—
SNOW STORAGE	—	—
SETBACK LINE	—	—
SAW-CUT LINE	—	—
PARKING COUNT	(10)	(10)
WOOD FENCE	—	—
TRANSFORMER	—	—
VERTICAL CONCRETE CURB	VCC	VCC
MONOLITHIC CONCRETE CURB	MCC	MCC
VERTICAL GRANITE CURB	VGC	VGC

NOTES:

1. HOURS OF OPERATION WILL BE 6AM-MIDNIGHT, MONDAY THROUGH SUNDAY.
2. ALL CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
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GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION
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PO BOX 2022
DANVERS, MA 01923

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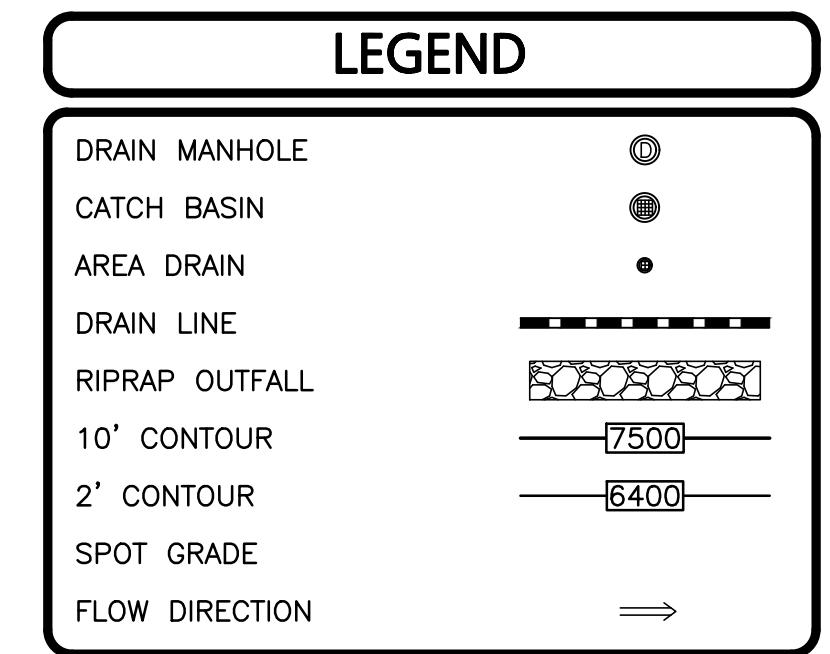
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET NO. C-102



BRIAN D. JONES
CIVIL
No. 49212
PROFESSIONAL ENGINEER
03-31-23

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION
APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:
TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 20' DWG. NAME: C-3115-01A

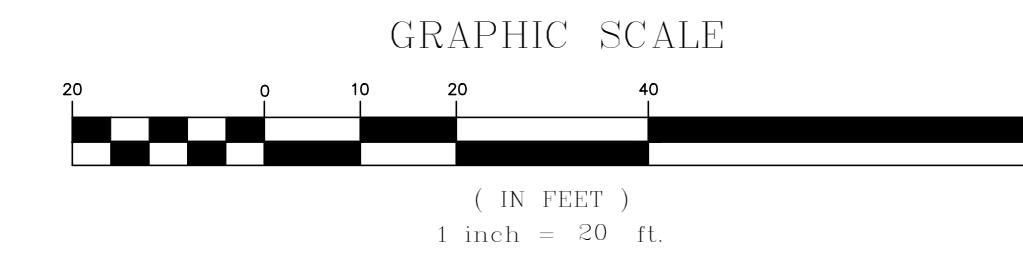
DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:

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DRAWING TITLE: GRADING & DRAINAGE PLAN SHEET NO. C-103
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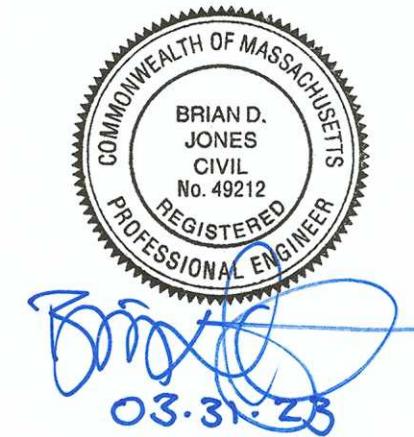
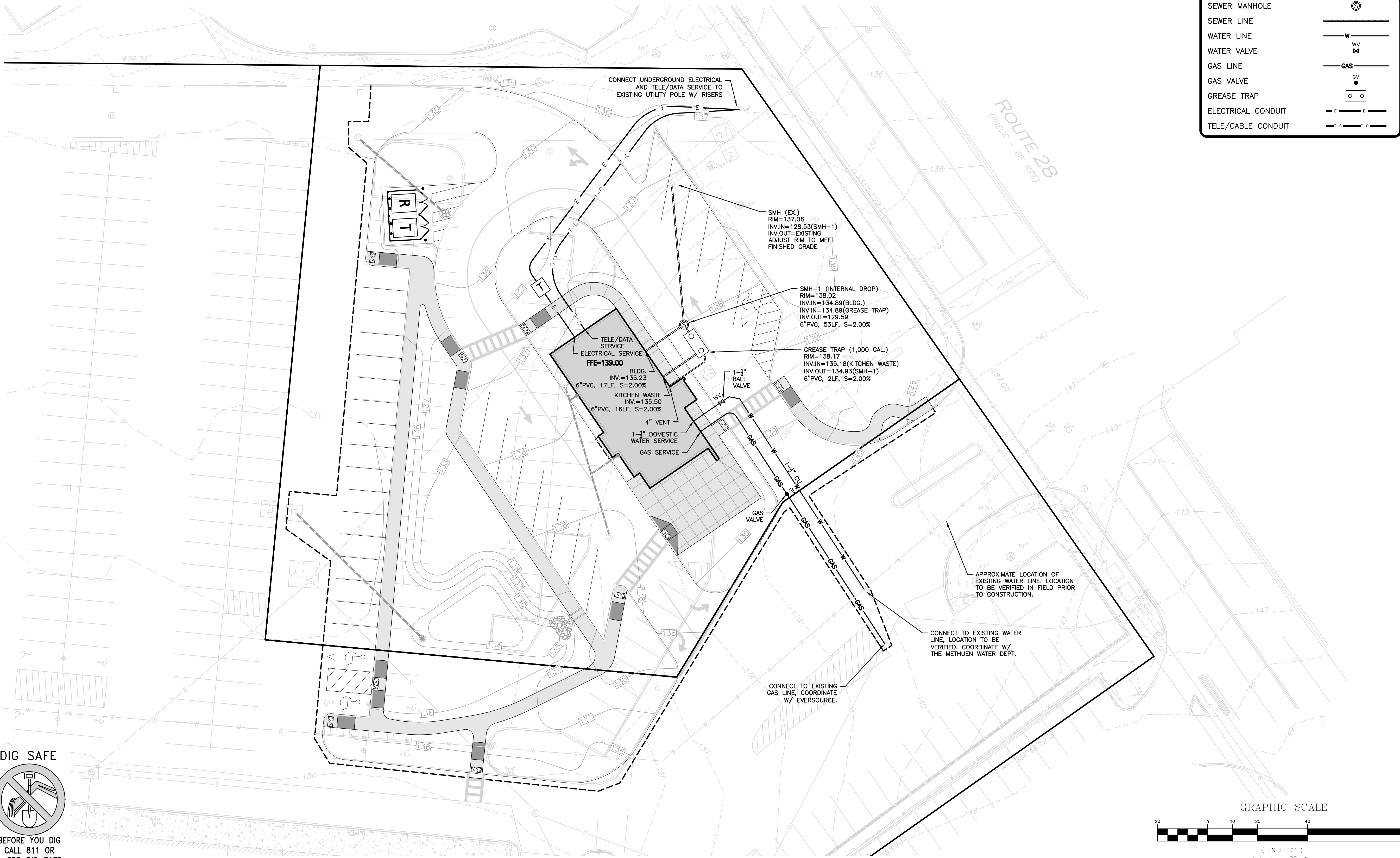


UTILITY NOTES:

1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING PIPES SHALL BE ENCASED IN CONCRETE OR SLEEVED IN A LARGER DIAMETER PIPE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
3. THE CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.

5. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE, BACKFILL, AND CONDUCT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.

6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
7. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 4.5 FEET OF COVER AND A MAXIMUM OF 8 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
8. ALL WATER MAINS 3 INCHES AND LARGER SHALL BE CEMENT LINED DUCTILE IRON - CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES.
9. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.
10. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE METHUEN WATER DEPARTMENT'S REQUIREMENTS.
11. GENERALLY, WATER MAIN FITTINGS, AND VALVES SHOWN ON THIS DRAWING ARE FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS AND VALVES ARE NOTED, SHOWN OR INDICATED.
12. LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE TOWN OF NEWINGTON REGULATIONS AND ELECTRIC COMPANY.
13. LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE.
14. THE LOCATION OF THE EXISTING WATER LINE IS SCHEMATIC IN NATURE AND IS TO BE CONFIRMED USING GROUND PENETRATING RADAR (GPR).



PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION
APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:
TACO JOHN'S
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PROJECT NO. 3115-01A DATE: 03/31/2023

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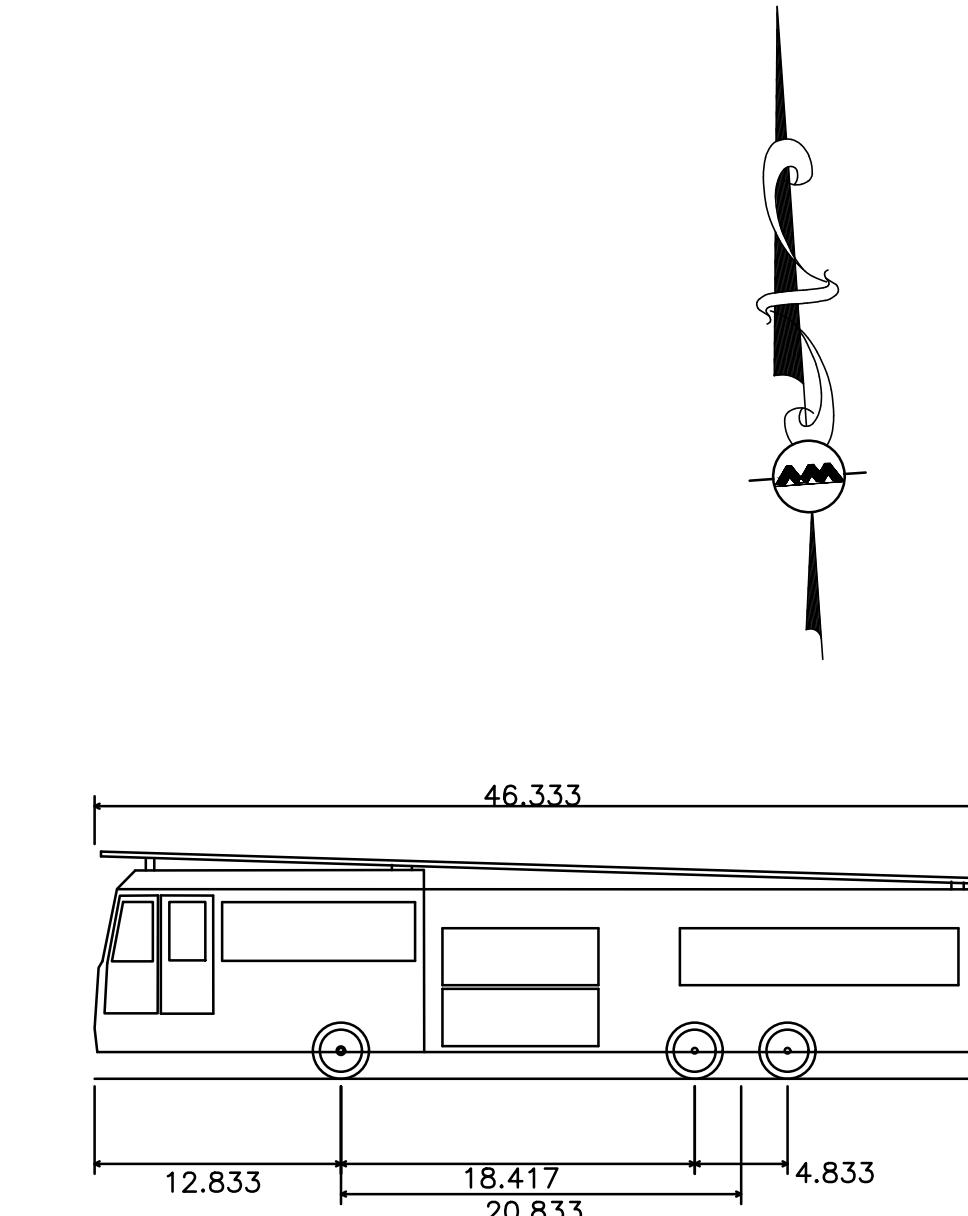
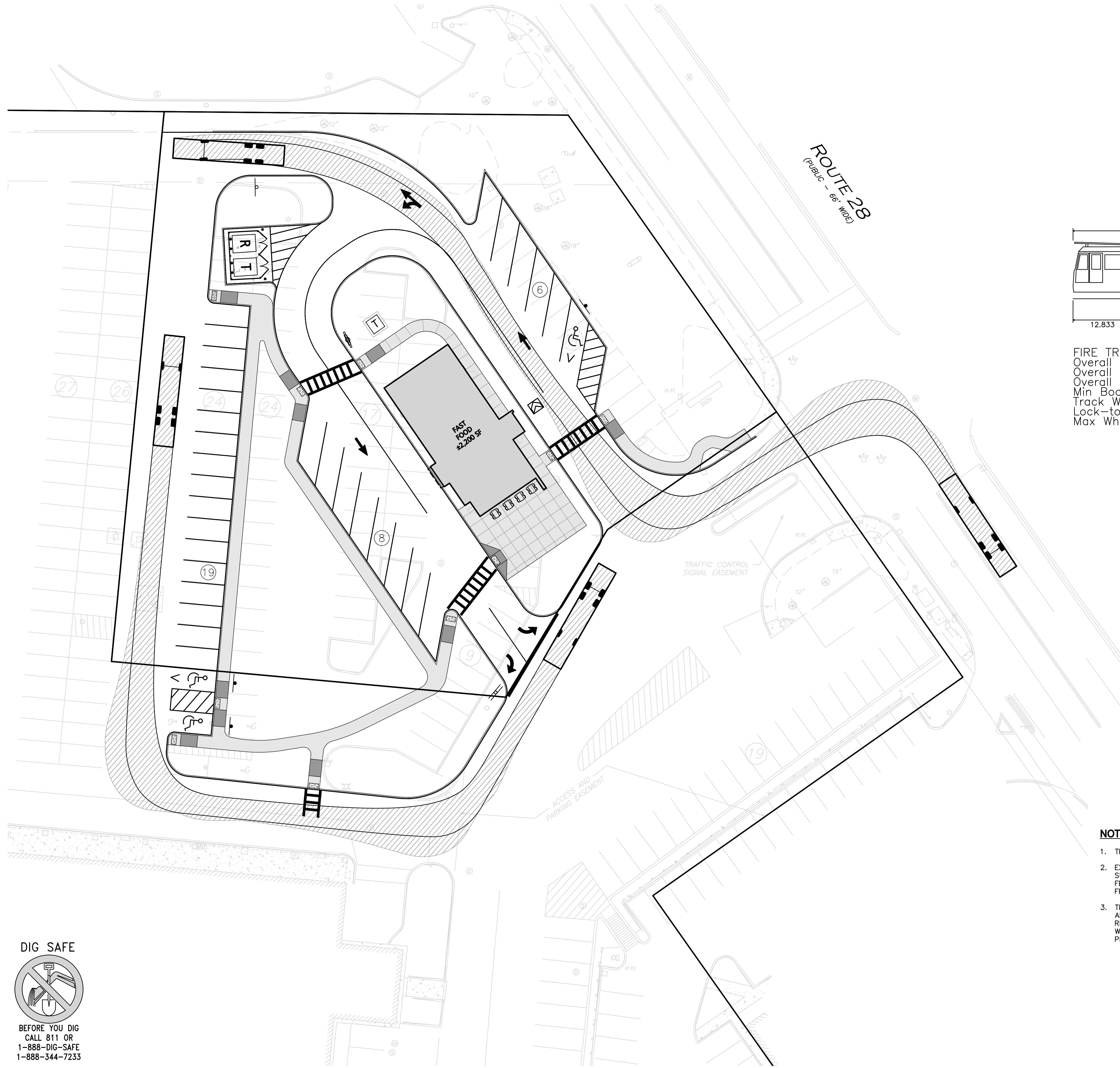
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DRAWING TITLE: UTILITIES PLAN SHEET NO. C-104
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COMMONWEALTH OF MASSACHUSETTS
BRIAN D. JONES
CIVIL
No. 40212
REGISTERED
PROFESSIONAL ENGINEER

03-31-23

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION
APPLICANT/OWNER: SHRI SWAMINE LLC PO BOX 2022 DANVERS, MA 01923		
PROJECT: TACO JOHN'S 436 BROADWAY THE VILLAGE MALL METHUEN, MA		

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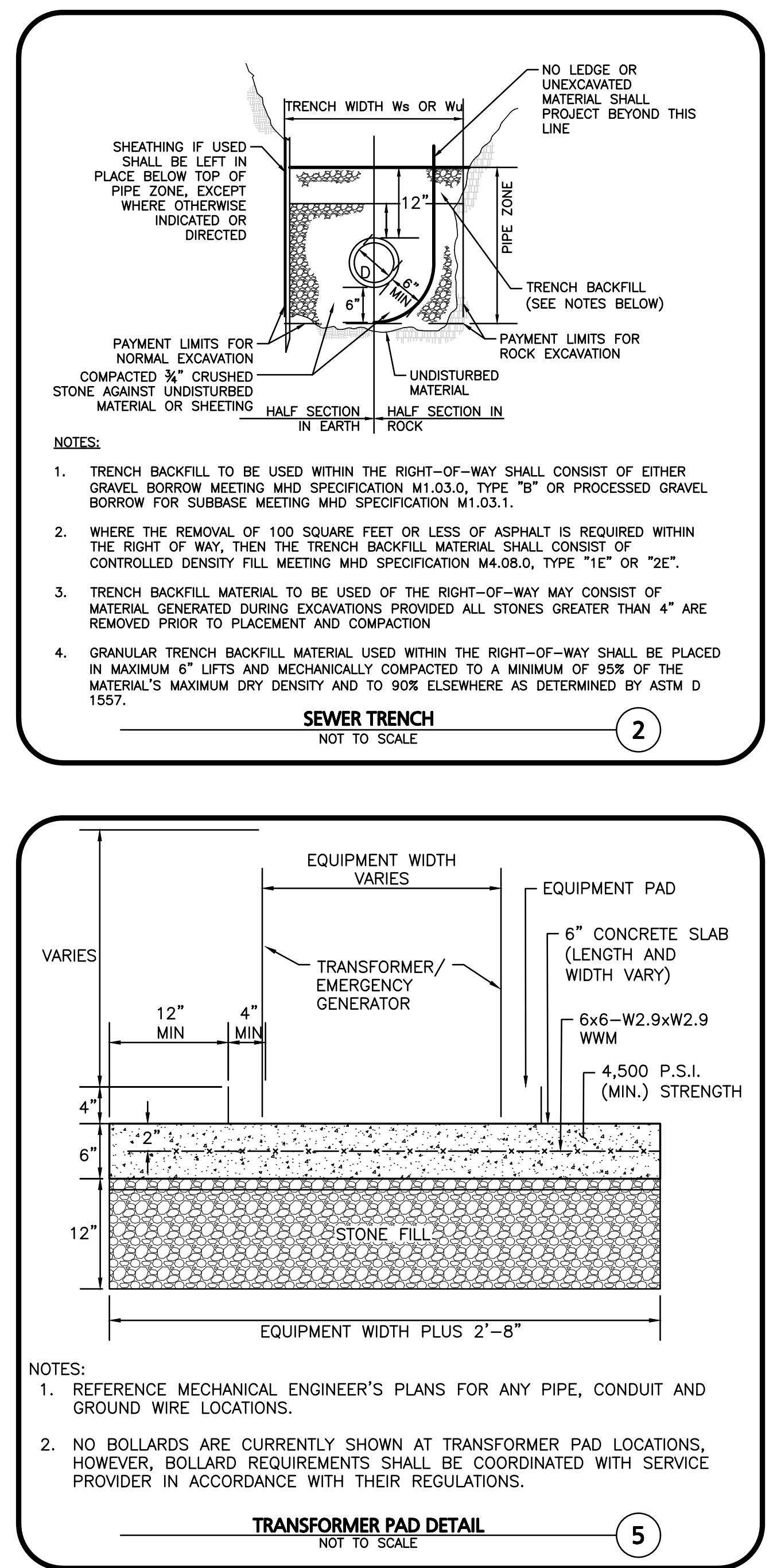
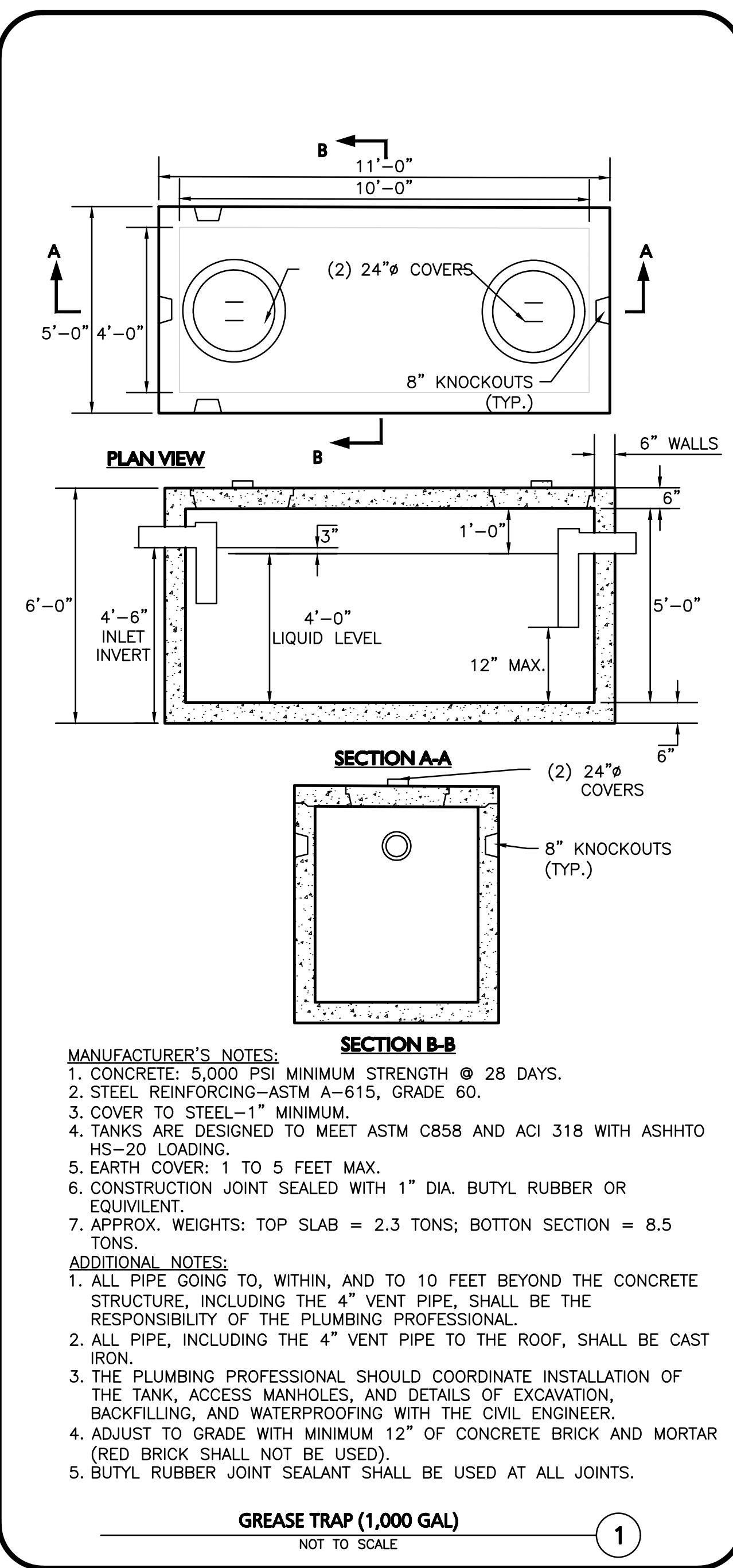
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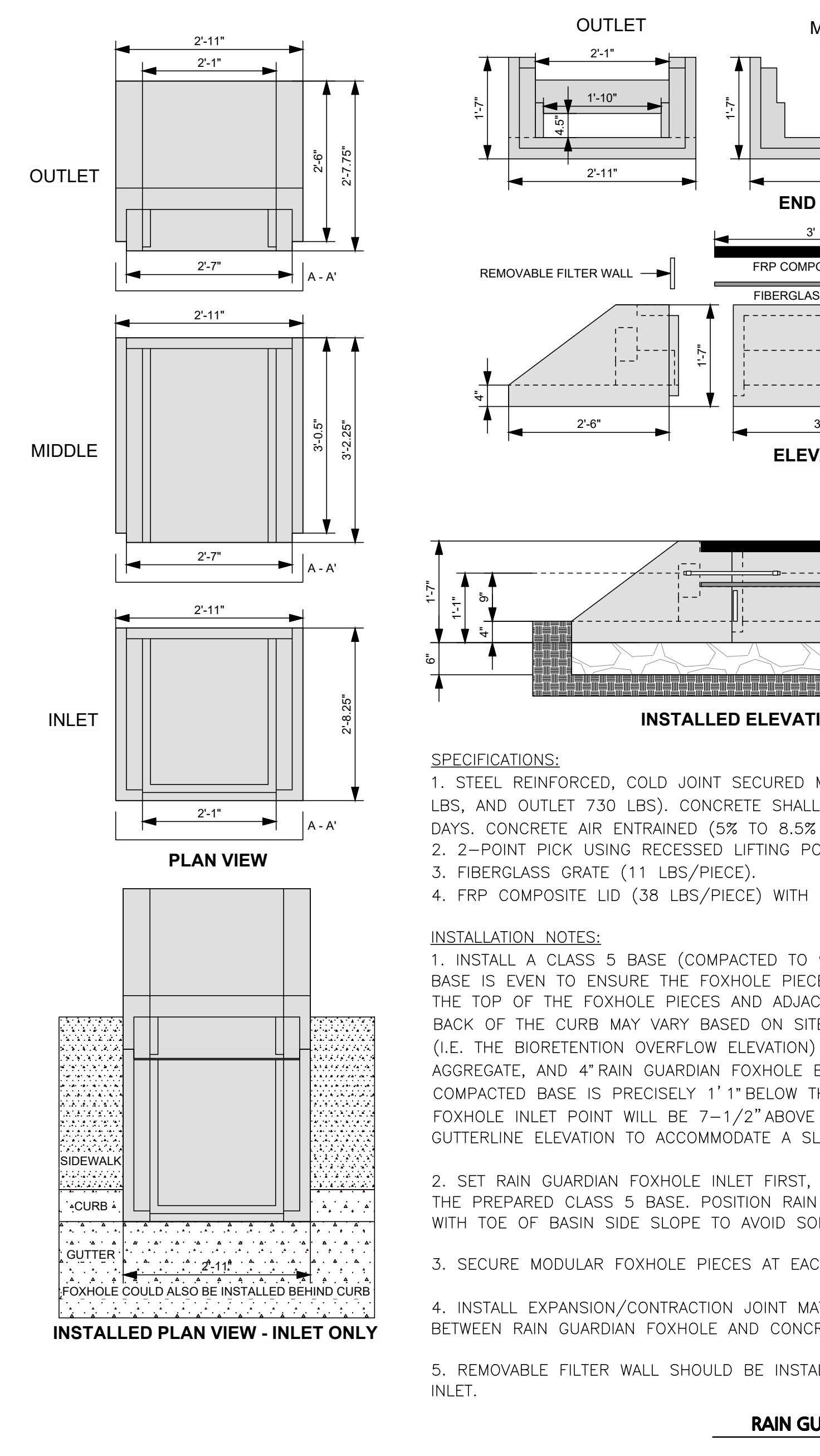
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DRAWING TITLE: TRUCK TURNING PLAN

SHEET NO. C-105





NOT USED

NOT TO SCALE

2

NOT USED

NOT TO SCALE

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7

NOT USED

NOT TO SCALE

8

NOT USED

NOT TO SCALE

9

COMMONWEALTH OF MASSACHUSETTS
BRIAN D. JONES
CIVIL
No. 49212
REGISTERED
PROFESSIONAL ENGINEER
Brian D. Jones
03-31-20

PROFESSIONAL ENGINEER FOR
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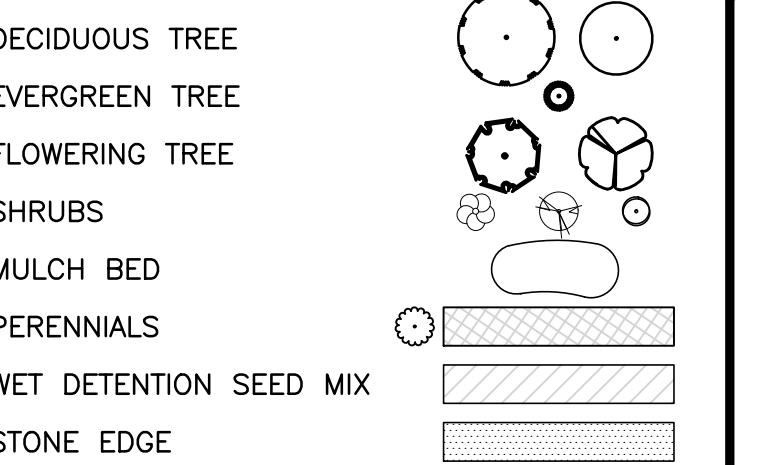
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DRAWING TITLE: SHEET No.
DETAILS C-504
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CITY OF METHUEN ZONING SUMMARY - LANDSCAPE

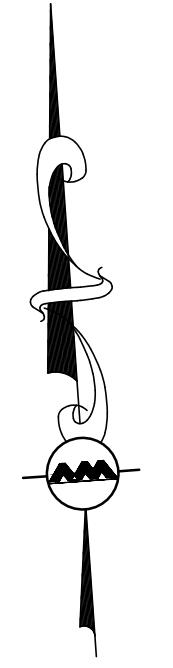
REGULATION	ITEM	REQUIRED / ALLOWED	PROPOSED
SECTION 6.2.E(4)	A FIFTEEN-FOOT LANDSCAPED STRIP SHALL BE PROVIDED ADJACENT TO THE STREET RIGHT-OF-WAY LINE WHEN A FRONT YARD IS USED FOR PARKING IN BUSINESS AND INDUSTRIAL DISTRICTS.	FIFTEEN-FOOT LANDSCAPED STRIP.	>42' PROVIDED

LEGEND



NOTES:

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF METHUEN, MA AND OTHER SOURCES.
- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- SEE SHEET L-501 FOR NOTES AND DETAILS



PLANTING SCHEDULE -TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
DECIDUOUS SHADE AND FLOWERING TREES						
*	GT	7 GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	3" CAL.	AS SHOWN	B&B
*	UA	4 ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3" CAL.	AS SHOWN	B&B
ORNAMENTAL TREES						
*	AC	2 AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6-7' HT.	AS SHOWN	B&B
*	MR	6 MALUS 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	2.5-3" CAL.	AS SHOWN	B&B
EVERGREEN TREES						
*	TOS	22 THUJA OCCIDENTALIS 'SMARAGD'	AMERICAN ARBORVITAE	5-6' HT.	36" O.C.	B&B
SHRUBS						
*	CA	17 CLETHRA ALNIFOLIA	SUMMERSWEET	#5	48" O.C.	POT
*	CS	19 CORNUS SERICEA 'FARROW'	ARCTIC FIRE DOGWOOD	#3	48" O.C.	POT
*	IG	44 ILEX GLABRA 'Densa'	INKBERRY	#7	36" O.C.	POT
PERENNIALS/GRASSES						
CK	23	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	24" O.C.	STAGGERED
*	EP	12 EUTROCHIUM PURPUREUM 'LITTLE JOE'	SWEET JOE PYE WEED	#3	48" O.C.	STAGGERED
HR	72	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#1	18" O.C.	STAGGERED
NF	25	NEPETA X FAASENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	#2	24" O.C.	STAGGERED
*	SS	25 SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#2	18" O.C.	STAGGERED
SEED MIX						
SEED	TBD	WET DETENTION BASIN	RAIN GARDEN	1 LB	AS SHOWN	SEE NOTES
LAWN	TBD	LOAM AND SEED	DISTURBED AREAS	1 LB	AS SHOWN	SEE NOTES

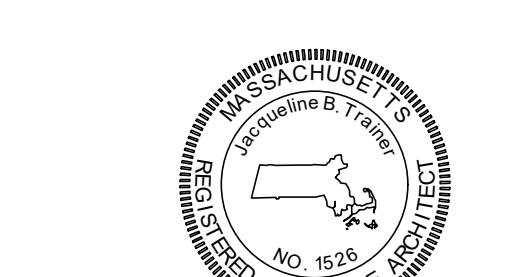
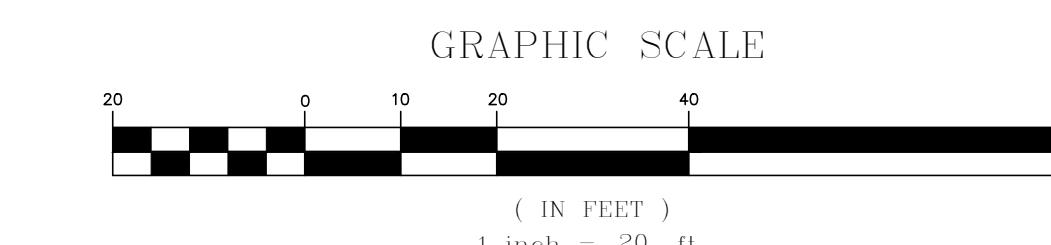
* DENOTES NATIVE SPECIES OR NATIVE CULTIVAR
SEED MIXES FROM NEW ENGLAND WETLAND PLANTS. WWW.NEWPL.COM

LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF METHUEN.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF NAY CONFLICTS IN WRITING.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (LATEST EDITION).
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIALS WHICH DIE WITHIN THE ONE YEAR PLANT GUARANTEE PERIOD WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR. OWNERS TO COORDINATE DIRECTLY WITH THE LANDSCAPE CONTRACTOR FOR REPLACEMENT PLANTINGS.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUNDCOVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH.
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- CONTRACTOR RESPONSIBLE FOR WATERING AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- NO MULCH IS ALLOWED WITHIN 18" OF ALL BUILDINGS PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00).
- ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 2 FEET MINIMUM DEPTH OF TOPSOIL. TWO FEET OF TOPSOIL AROUND TREES AND SHRUBS

DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL, DEMOLITION, AND LANDSCAPE CONTRACTORS TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 2 FEET MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET. SEE TOPSOIL DETAIL.

- PRIOR TO LAYING TOPSOIL, ALL SUBSOIL (BELOW PROPOSED TOPSOIL) TO BE TILLED TO A DEPTH OF AT LEAST 18" TO REMOVE CONSTRUCTION COMPACTION AND ALLOW FOR PROPER DRAINAGE OF TOPSOILS.
- ALL SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SEEDING OF BARE SPOTS. CONTRACTOR TO ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS & UNTIL SLOPES ARE FULLY STABILE. CONTRACTOR RESPONSIBLE FOR ALL MAINTENANCE UNTIL FINAL ACCEPTANCE OF LAWN AREAS INCLUDING: WATERING, ADDING FERTILIZERS AND LIME AND MOWING.
- AFTER SEEDING, ALL AREAS TO BE LIGHTLY MULCHED WITH WEED FREE STRAW & CONTINUALLY WATERED EVERY DAY SO THAT SEED IS KEPT MOIST UNTIL SEED IS ESTABLISHED & APPROVED BY A&M LANDSCAPE ARCHITECT (USE NO HAY).
- IF THERE IS NO PROPOSED IRRIGATION SYSTEM AFTER PLANTINGS & LAWNS & SEADED AREAS HAVE BEEN INSTALLED, LANDSCAPE CONTRACTOR RESPONSIBLE TO TEMPORARILY WATER ALL INSTALLED PLANTINGS, SEADED AREAS, & LAWN AREAS MIN. 4 TIMES A WEEK DURING INITIAL ESTABLISHMENT PERIOD OF 6 MONTHS AFTER ALL LANDSCAPING IS INSTALLED.
- ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, SEPARATE ZONES FOR EACH TYPE OF BEDDING AREA BASED ON WATERING NEEDS, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.
- SEEDED OF BIORETENTION & DETENTION AREAS & OTHER SLOPE AREAS SHALL OCCUR IN THE DRY & AFTER SLOPES ARE COMPAKTED. IT IS IMPORTANT, THAT THE BIORETENTION AREAS/ DETENTION BASIN BE SEADED AT THE BEGINNING OF THE PROJECT & PRIOR TO ANY DRAINAGE BEING DIRECTED TOWARDS THE BASIN. THE SEED AT DETENTION AREAS & OTHER SLOPED AREAS WILL NEED A MINIMUM OF 6 MONTHS TO INITIALLY ESTABLISH PRIOR TO THE DETENTION BASIN BEING UTILIZED SO THAT THERE IS NOT EROSION & SLOPE FAILURE. LIGHTLY RAKE SOIL TO ENSURE GOOD SEED-TO-SOIL CONTACT. SEE SEED MIX DETAIL NOTES.



PROFESSIONAL LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION
APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:
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436 BROADWAY
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DRAWING TITLE: LANDSCAPE PLAN SHEET NO. L-101
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LOAM AND SEED NOTES:

CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLAN PER SPECIFICATIONS BELOW

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREEPING RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA COMMUTATA WILMA	WILMA CHEWINGS	8%	95%	80%

- SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
- SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSEED ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSEED (AT RATE OF 3,000 LBS. PER ACRE). CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING.
- COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GRINDED TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH 20 MESH SIEVE.
- LAWN AREAS TO BE SEEDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

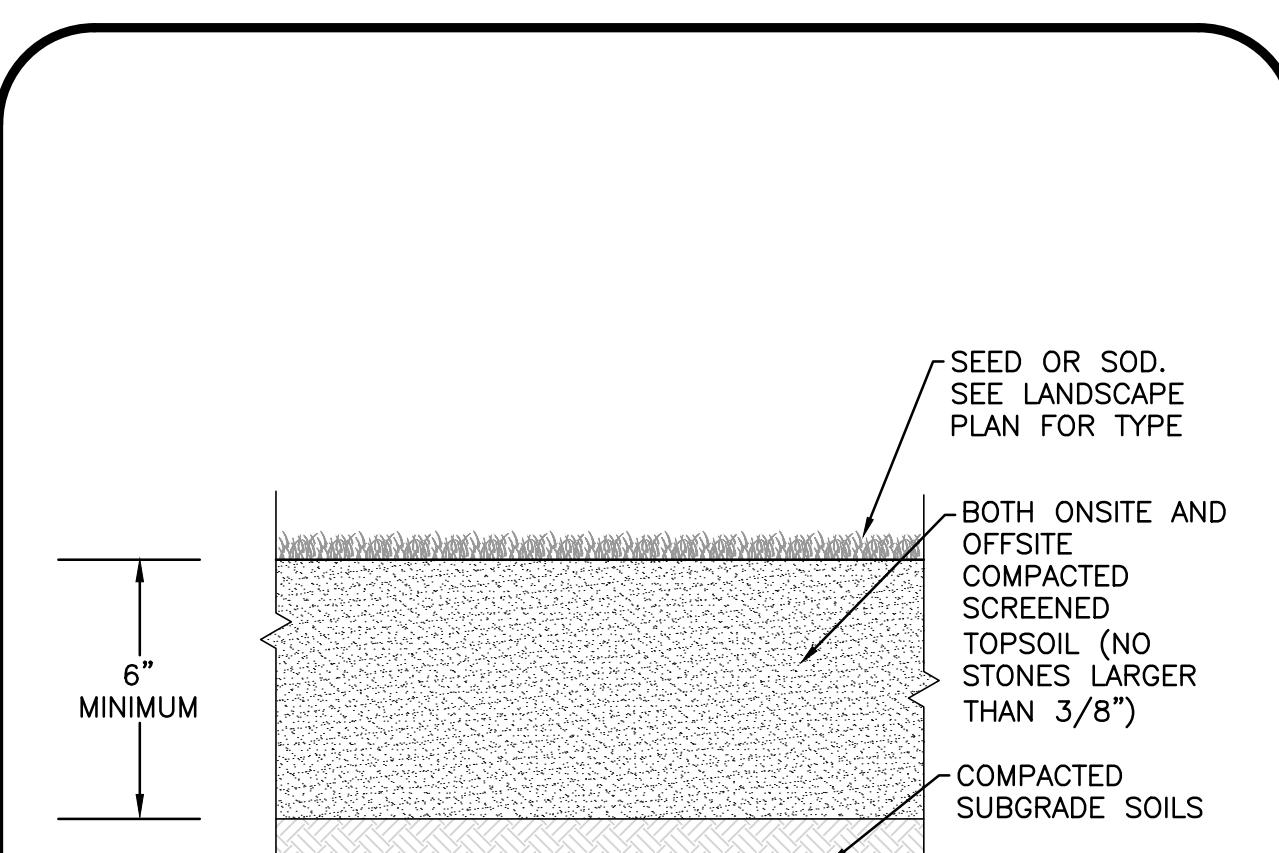
WET DETENTION BASIN SEED MIX:

NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES
(BY NEW ENGLAND WETLAND PLANTS INC. - NEWP.COM)
APPLICATION RATE: 35 LBS/ACRE :1250 SQ FT/LB

ITEM	BOTANICAL NAME	COMMON NAME	INDICATOR
1.	ELYMUS RIPARIUS	RIVERBANK WILD RYE	FAFW
2.	FESTUCA RUBRA	RED FESCUE	FACU
3.	SCHIZACHYRUM SCOPARIUM	LITTLE BLUESTEM	FACU
4.	PANICUM VIRGATUM	SWITCH GRASS	FAC
5.	ANDROPOGON GERARDII	BIG BLUESTEM	FACU
6.	VERBENA HASTATA	BLUE VERBAIN	FACW
7.	AGROSTIS PERENNANS	UPLAND BENTGRASS	FACU
8.	BIDENS CERNUA	NODDING BUR MARIGOLD	OBL
9.	EUPATORIUM PISTULOSUM	HOLLOW-STEM JOE PYE WEED	FACW
10.	EUPATORIUM PERfoliatum	BONESET	FACW
11.	ASTER NOVAE-ANGliae	NEW ENGLAND ASTER	FACW
12.	SCIRPUS CYPERINUS	WOOL GRASS	OBL
13.	JUNCUS EFFUSUS	SOFT RUSH	OBL

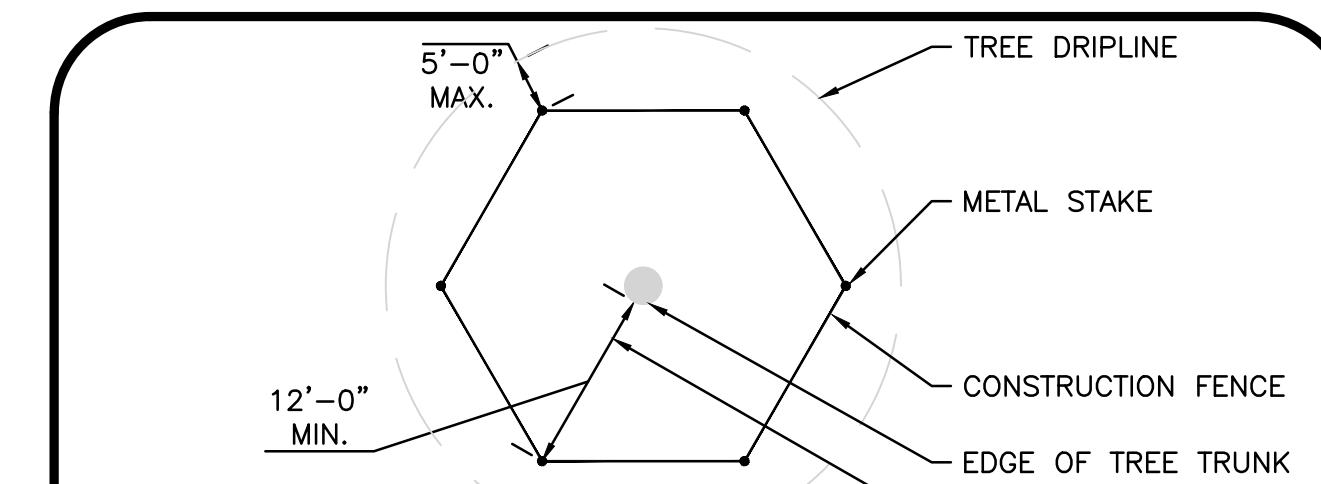
THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. IT IS AN APPROPRIATE SEED MIX FOR ECOLOGICALLY SENSITIVE RESTORATIONS THAT REQUIRE STABILIZATION AS WELL AS LONG-TERM ESTABLISHMENT OF NATIVE VEGETATION.

THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS THAT DO NOT HOLD STANDING WATER. MANY OF THE PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. THE MIX MAY BE APPLIED BY HAND, BY MECHANICAL SPREADER, OR BY HYDROSEEDER. AFTER SOWING, LIGHTLY RAKE, ROLL OR CULTIPACK TO INSURE GOOD SEED-TO-SOIL CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE SUMMER SEEDING. LATE FALL AND WINTER DORMANT SEEDING REQUIRES AN INCREASE IN THE APPLICATION RATE. A LIGHT MULCHING OF CLEAN, WEED-FREE STRAW IS RECOMMENDED.



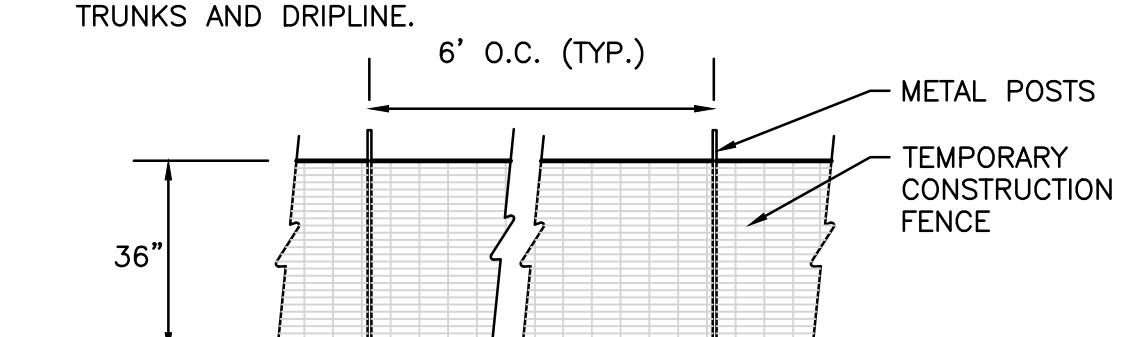
TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	28-40



NOTE:
1. CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED BY TENAX OR APPROVED EQUAL.

IF GROUPS OF TREES ARE TO BE PROTECTED, EXTEND FENCE AROUND
2. PERIMETER TO CONFORM TO MINIMUM DIMENSIONS FOR TREE
TRUNKS AND DRIPLINE.



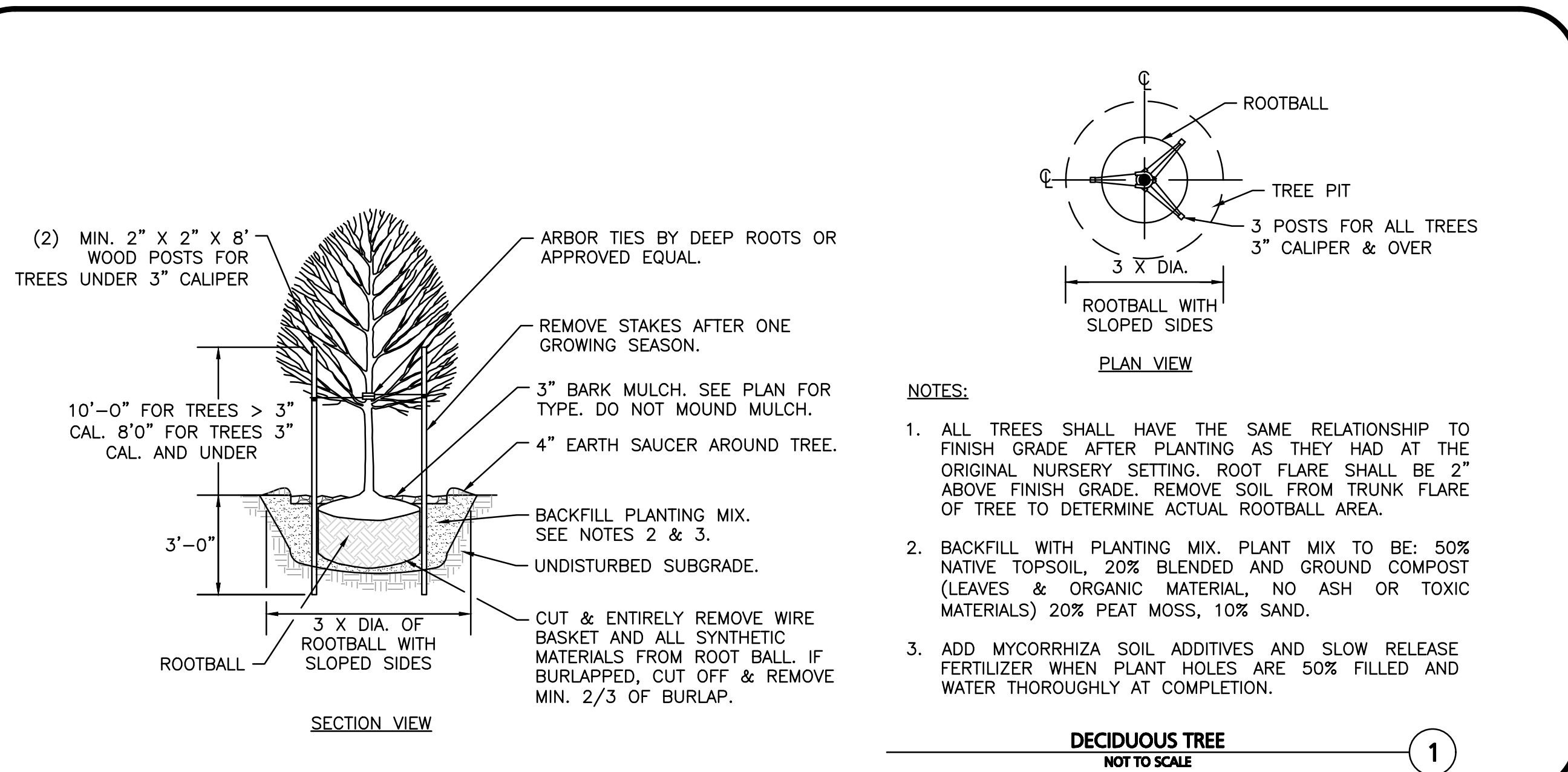
EXISTING TREE PROTECTION
NOT TO SCALE

NOTES:

- TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
- ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, TRASH, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEous MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.

- THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMAS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS.
- TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS
NOT TO SCALE



NOTES:

- ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% BLENDED AND GROUNd COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH OR TOXIC MATERIALS) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

DECIDUOUS TREE
NOT TO SCALE



PROFESSIONAL LANDSCAPE ARCHITECT FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV DATE DESCRIPTION
APPLICANT/OWNER:
SHRI SWAMINE LLC
PO BOX 2022
DANVERS, MA 01923

PROJECT:
TACO JOHN'S
436 BROADWAY
THE VILLAGE MALL
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: AS SHOWN DWG. NAME: L-3115-01A

DESIGNED BY: JBT CHECKED BY: BDJ

PREPARED BY:



ALLEN & MAJOR
ASSOCIATES, INC.

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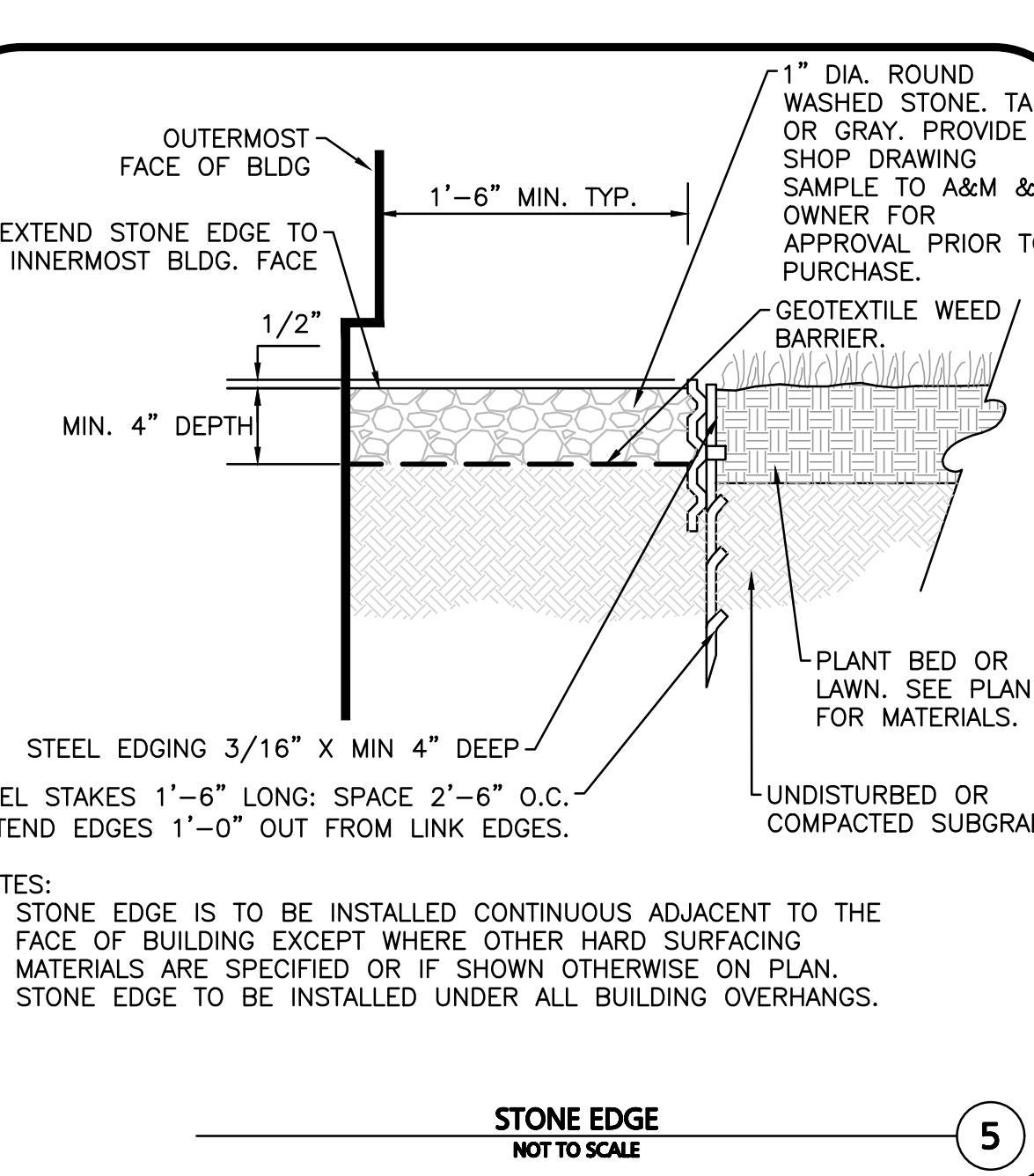
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DRAWING TITLE: SHEET NO.
LANDSCAPE NOTES & DETAILS L-501

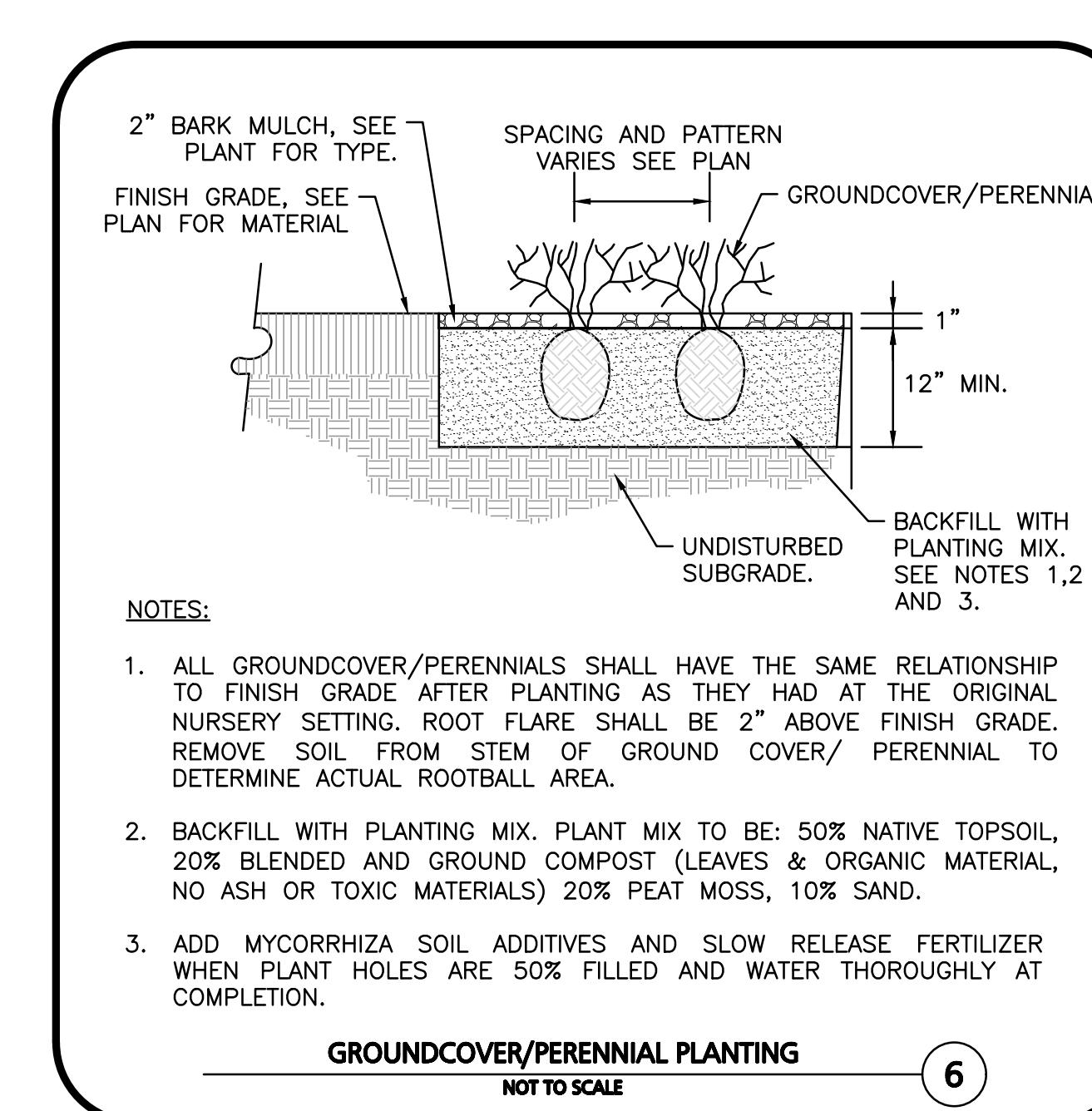
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NOTES:

- STONE EDGE IS TO BE INSTALLED CONTINUOUS ADJACENT TO THE FACE OF BUILDING EXCEPT WHERE OTHER HARD SURFACING MATERIALS ARE SPECIFIED OR IF SHOWN OTHERWISE ON PLAN.
- STONE EDGE TO BE INSTALLED UNDER ALL BUILDING OVERHANGS.

STONE EDGE
NOT TO SCALE



NOTES:

- ALL GROUNDCOVER/PERENNIALS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM STEM OF GROUNDCOVER/PERENNIAL TO DETERMINE ACTUAL ROOTBALL AREA.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% BLENDED AND GROUNd COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH OR TOXIC MATERIALS) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

GROUNDCOVER/PERENNIAL PLANTING
NOT TO SCALE

NOTES:

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IF GROUPS OF TREES ARE TO BE PROTECTED, EXTEND FENCE AROUND
2. PERIMETER TO CONFORM TO MINIMUM DIMENSIONS FOR TREE
TRUNKS AND DRIPLINE.

6' O.C. (typ.)

METAL POSTS

TEMPORARY CONSTRUCTION FENCE

12'-0" MIN.

12'-0" MAX.

ADJUST FOR FIELD CONDITIONS

NOTE:
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METAL POSTS

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